

DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES UNDERGROUND PER THE UNDERGROUND FACILITY PROTECTION ACT, BETTER KNOWN AS THE "ONE CALL LAW," OCTOBER 1994. THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 1-800-272-1000 OR 811, 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR DEMOLITION SO THAT OPERATORS CAN MARKOUT THEIR UNDERGROUND UTILITIES IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.
2. ALL ELECTRICAL FACILITIES SCHEDULED FOR DEMOLITION SHALL BE DISCONNECTED AND REMOVED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY APPLICABLE STATE OR LOCAL REGULATIONS. ALL WORK AT UTILITY POLES SHALL BE COORDINATED WITH PROPER ELECTRIC COMPANY.
3. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND OBJECTS THAT ARE TO REMAIN SO AS TO AVOID DAMAGE DUE TO DEMOLITION ACTIVITIES. ANY AND ALL DAMAGE TO ADJACENT FACILITIES CAUSED BY CONTRACTOR OPERATIONS SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.
4. APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SUCH MEASURES SHALL BE LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE COUNTY SOIL CONSERVATION DISTRICT.
5. NO DISTURBANCES NOR PLACEMENT OF MATERIALS SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINES WITHOUT THE WRITTEN CONSENT OF THE PROPERTY OWNER(S) INVOLVED. ANY AND ALL DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AND/OR STORAGE OF MATERIALS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT NO COST TO THE OWNER.
6. ANY TRENCH REPLACEMENT AND RESTORATION DONE WITHIN THE COUNTY ROAD RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE COUNTY STANDARDS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING PAVING AND CONCRETE, AS WELL AS TOPSOILING, SOODING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. ROAD PAVEMENT REPLACEMENT AND ALL RESTORATION IN STATE ROADS SHALL MEET THE REQUIREMENTS OF THE STATE ENGINEER.
8. THE USE OF EXPLOSIVES FOR DEMOLITION WILL NOT BE PERMITTED.
9. THE CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
10. THE AREAS OF DEMOLITION SHALL BE PROTECTED TO ENSURE THE SAFE PASSAGE OF PERSONS IN THE RESPECTIVE AREAS.
11. ALL DEBRIS, TRASH, BUILDING REMAINS, RUBBISH INCLUDING HAZARDOUS WASTE, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND/OR FOUND ON THE SITE DURING DEMOLITION OR CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
12. IN LOCATIONS WHERE CONCRETE AND PAVEMENT, TO BE REMOVED, ABUT SURFACES OF LIKE MATERIALS, THE CONCRETE AND PAVEMENT SHALL BE SAW CUT ALONG THE LIMITS OF REMOVAL, TO LEAVE A CLEAN, EVEN EDGE REMAINING WHERE SUCH MATERIALS ARE TO REMAIN IN PLACE. AT ALL LOCATIONS WHERE EXISTING BUILDINGS AND FOUNDATIONS ARE TO BE REMOVED, THE EXPOSED SUBGRADE SHALL BE PROOF ROLLED AND DENSIFIED WITH A 15 TON SELF-PROPELLED VIBRATORY COMPACTOR, THE DENSITY OF 95% OF MODIFIED PROCTOR SHALL BE ACHIEVED PRIOR TO ANY PROPOSED CONSTRUCTION.
13. THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.52 (1) (OSHA COMPETENT PERSON).
14. THE CONTRACTOR SHALL PAY ALL STREET OPENING FEES AND GIVE THE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL EXECUTION OF THE PROJECT.
15. THE INSPECTION OF, OR FAILURE TO INSPECT, ANY MATERIALS OR WORKMANSHIP BY STATE, COUNTY, OR CITY OFFICIALS SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS, AND LAWS.
16. IF ENCOUNTERED, DEMOLITION PERMIT AND WELL/SEPTIC SYSTEM CLOSURE PERMITS ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
17. THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE AND SHOULD NOT BE RELIED UPON BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATION OF ALL EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE PROCEEDING TO COMMENCE THE WORK OR ORDERING OF MATERIALS. EXISTING UTILITIES SHALL BE ABANDONED OR REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
18. THE CONTRACTOR SHALL NOT PROCEED WITH ANY EXCAVATION OPERATIONS UNTIL HE HAS DETERMINED THE EXACT LOCATION OF THE EXISTING UTILITY FACILITIES WITHIN THE PROJECT FROM SUBSURFACE SITE INVESTIGATIONS, INCLUDING TEST PITS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THEIR EXAMINATIONS DETERMINE ANY CONFLICTS TO COMPLETING THE WORK.
19. THE CONTRACTOR SHALL PROTECT, SUPPORT, AND SECURE ALL IN-PLACE UTILITY FACILITIES SO AS TO AVOID DAMAGE TO THEM AND ANY INTERRUPTION OF SERVICE. THE CONTRACTOR SHALL NOT TEMPORARILY MOVE EXISTING OR COMPLETED UTILITY FACILITIES WITHOUT THE UTILITY(S) WRITTEN CONSENT, AND THE FACILITIES SHALL BE AS SAFE AND PERMANENT AT COMPLETION AS THEY WERE BEFORE THE CONTRACTOR'S INVOLVEMENT. IN THE EVENT THE CONTRACTOR DAMAGES A UTILITY FACILITY, INCLUDING PROPERTY SERVICE CONNECTIONS, THE CONTRACTOR SHALL NOTIFY THE UTILITY(S) IMMEDIATELY. THE UTILITY(S) MAY COMPLETE THE REPAIRS OR ALLOW THE CONTRACTOR TO COMPLETE THE REPAIRS, WITH THE CONTRACTOR RESPONSIBLE FOR ANY APPLICABLE TIME AND EXPENSE.
20. EXCAVATIONS SHALL BE SHORED, BRACED, AND SHEATHED AS CONDITIONS WARRANT. IF CLOSE TO EXISTING PAVEMENT, SIDEWALKS, CURBS, PIPES, RAILROADS, OR STRUCTURES OF ANY KIND, THE EXCAVATION SHALL BE SECURED BY SHEET PILING OR OTHER METHODS SO THAT SUCH FACILITIES AND STRUCTURES ARE PROTECTED. NO ADDITIONAL PAYMENT WILL BE MADE FOR SHORING, BRACING OR SHEATHING.

LEGEND

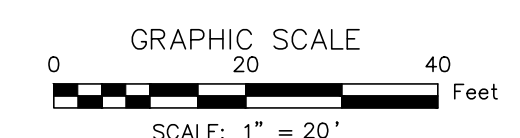
- PROPERTY OUTBOUND
- EXISTING CENTERLINE
- EXISTING LOT LINE
- EXISTING TREETLINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- EXISTING 1' INTERVAL CONTOUR LINE
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING SOIL LINE
- EXISTING SOIL TYPE
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE W/LIGHT
- EXISTING UTILITY POLE W/LIGHT & SOLAR PANEL
- EXISTING UTILITY POLE W/SOLAR PANEL
- EXISTING UTILITY GUY POLE
- EXISTING LIGHT
- EXISTING STORM SEWER AND INLET
- EXISTING SANITARY SEWER MH & PIPE
- EXISTING FORCE MAIN
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING WATER METER PIT
- EXISTING OVERHEAD ELECTRIC
- EXISTING TELEPHONE
- EXISTING TELEPHONE BOX
- EXISTING TELEPHONE MANHOLE
- EXISTING GAS MAIN
- EXISTING GAS VALVE
- EXISTING ELECTRIC
- EXISTING ELECTRIC MANHOLE
- EXISTING CABLE TV
- EXISTING FIBER OPTIC CABLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING STREET SIGN
- ZONING LIMIT LINE

ZONE

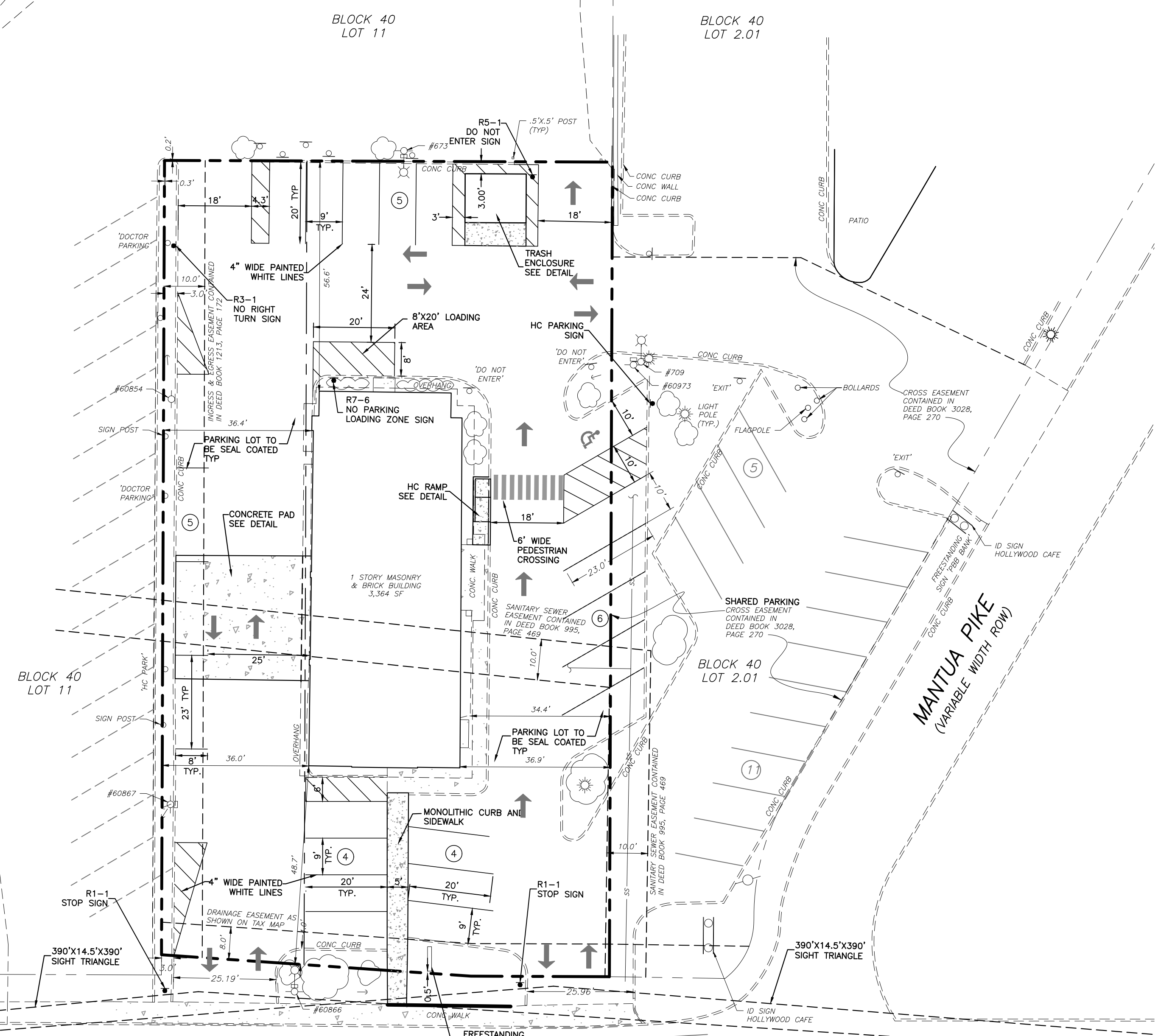
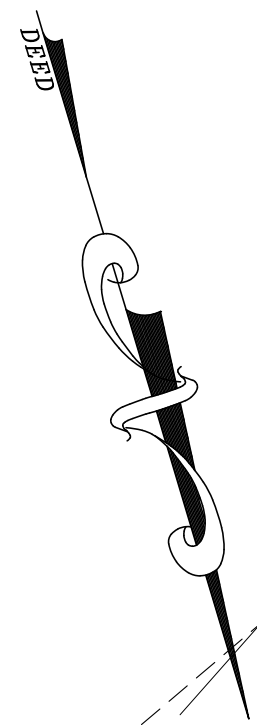
- ZONING DESIGNATION
- EXISTING SIGN TO BE REMOVED
- TO BE DEMOLISHED OR REMOVED
- BLDG OVERHANG TO BE REMOVED

SOILS LEGEND

DESIGNATION	NAME	SLOPES	SOIL CLASS
CopB	COLLINGTON-URBAN LAND COMPLEX	0-5%	B

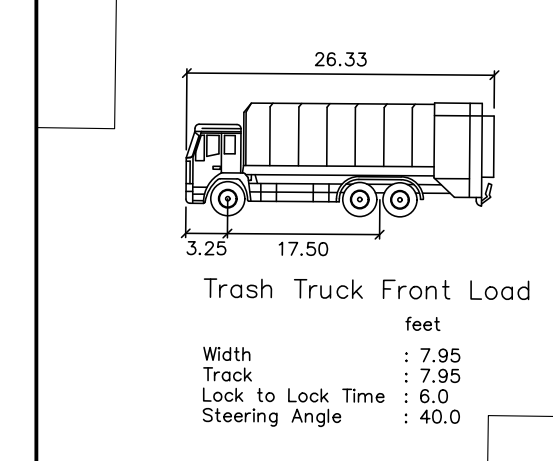


EXISTING CONDITION AND DEMOLITION PLAN
SHIV PRASAD, LLC
 BLOCK 40, LOTS 3 & 11.01
 WOODBURY HEIGHTS BOROUGH, GLOUCESTER COUNTY, NEW JERSEY
 PREPARED BY: SHIV PRASAD, LLC
 CONSULTING ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NJ 08081
 PHONE: 609-426-7700 FAX: 609-426-7701
 NJ CERTIFICATE OF AUTHORIZATION No. 246278700, 21MR000134
 DATE: 01/11/23 SCALE: 1"=20' FILE NO. 2946-01 EC01 DRAWN BY: JAS
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04721900



ELM AVENUE
(GC ROUTE 652)
(60' WIDE ROW)

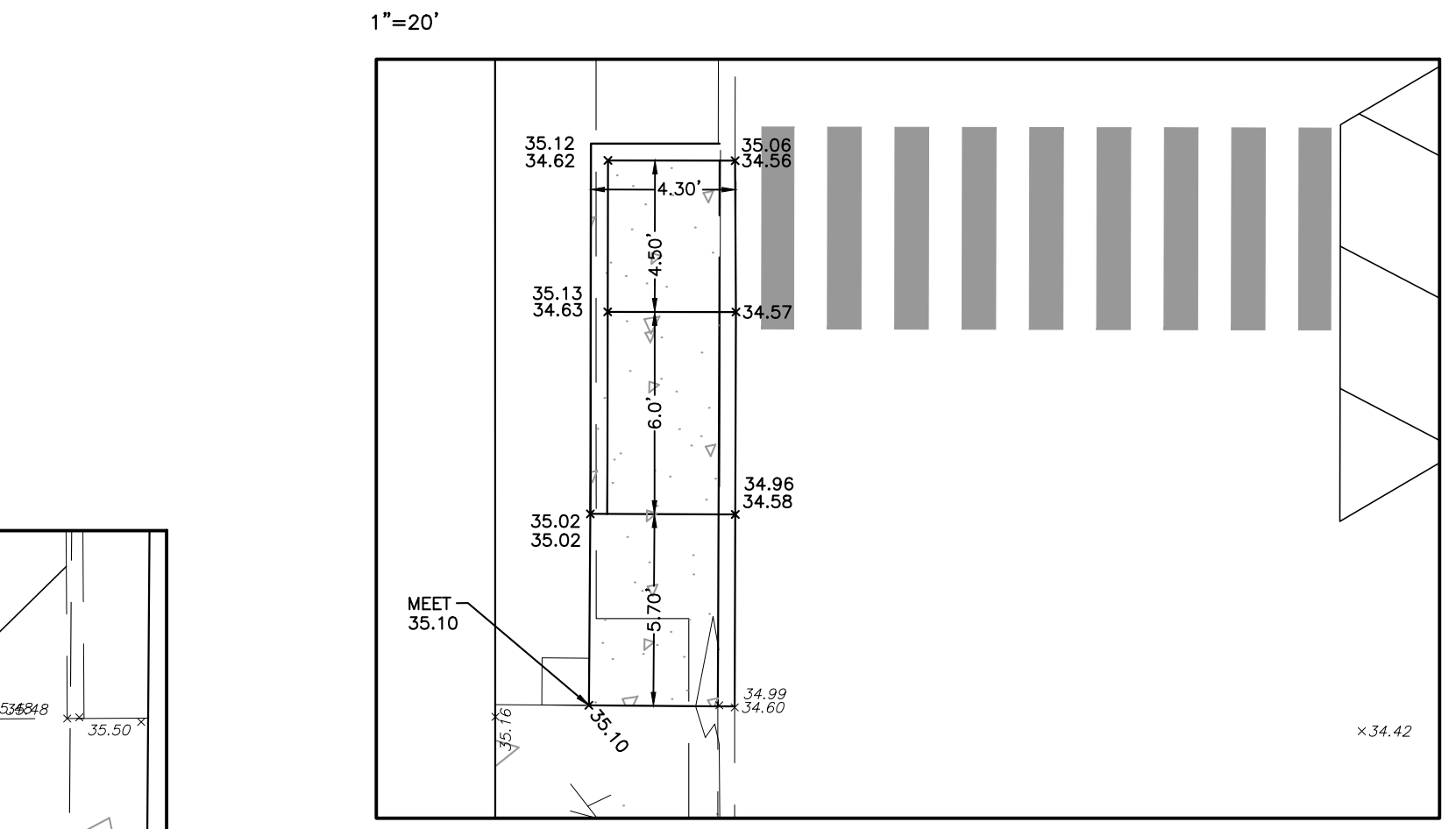
MANTUA PIKE
(VARIABLE WIDTH ROW)



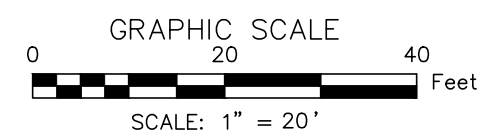
BLOCK 40
LOT 11

BLOCK 40
LOT 2.01

TRASH TRUCK TURNING MOVEMENT PLAN



HC RAMP GRADING PLAN



SIDEWALK GRADING PLAN

1"=5'

LEGEND

- PROPERTY OUTBOUND
- - - EXISTING RIGHT OF WAY
- - - PROPOSED RIGHT OF WAY
- - - EXISTING CENTERLINE
- - - PROPOSED CENTERLINE
- - - EXISTING LOT LINE
- - - EXISTING TREELINE
- EXISTING CURB
- - - PROPOSED CURB
- - - EXISTING EDGE OF PAVEMENT
- - - PROPOSED EDGE OF PAVEMENT
- - - EXISTING FENCE
- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- EXISTING SIGN
- PROPOSED SIGN
- PROPOSED HC PARKING SYMBOL
- EXISTING LIGHT
- EXISTING UTILITY POLE
- PROPOSED DIRECTIONAL ARROW (REFERENCE ONLY)

SITE AND GRADING PLAN

SHIV PRASAD, LLC
BLOCK 40, LOTS 3 & 11.01

PREPARED BY
CONSULTING SERVICES
PROFESSIONAL ENGINEERS, PLANNERS,
& LAND SURVEYORS
645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NJ 08081
PH: 609-426-2200 FAX: 609-426-2201
WWW.CONSULTINGSERVICES.COM
NJ CERTIFICATE OF AUTHORIZATION NO. 246278700, 2144000134



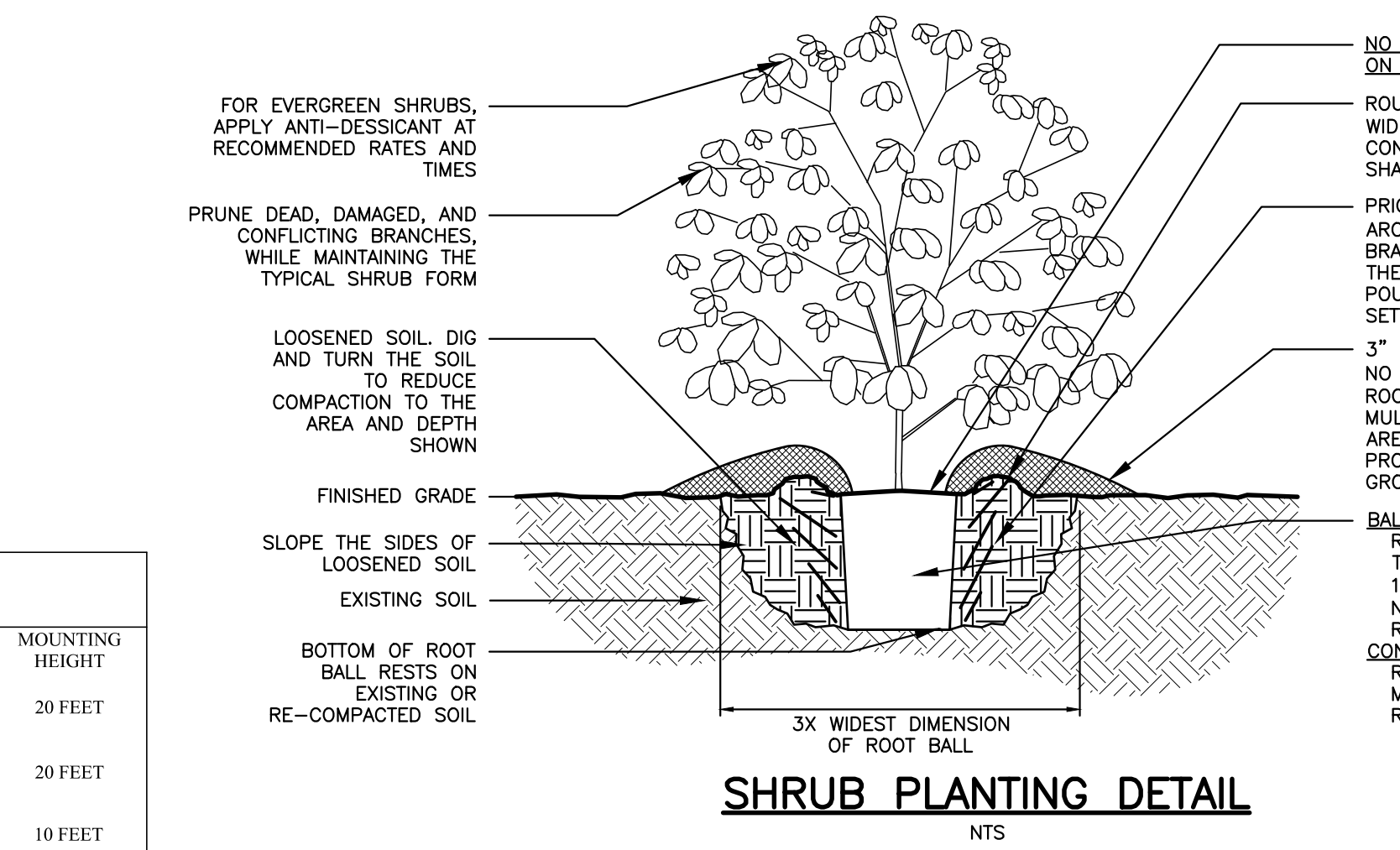
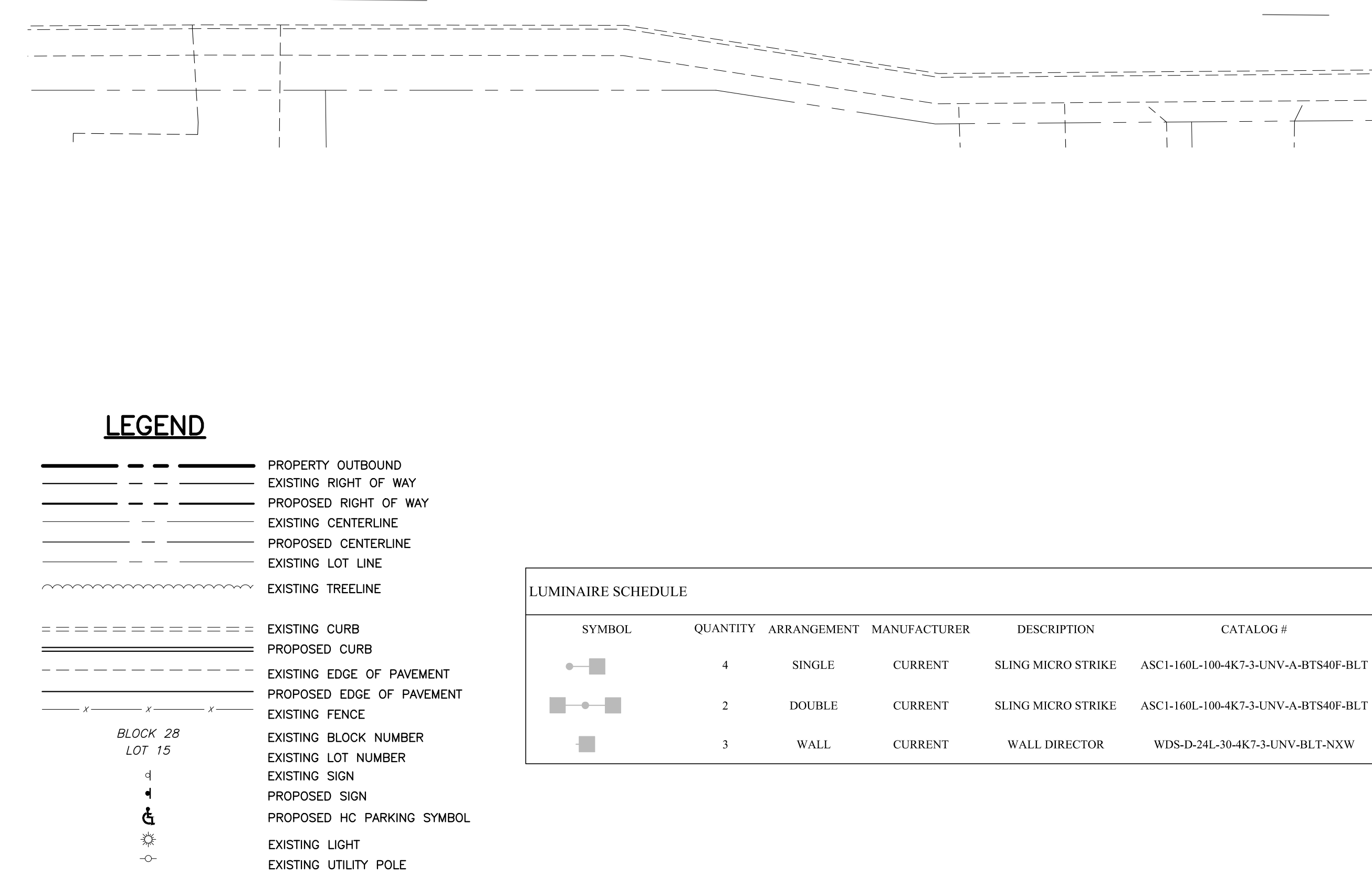
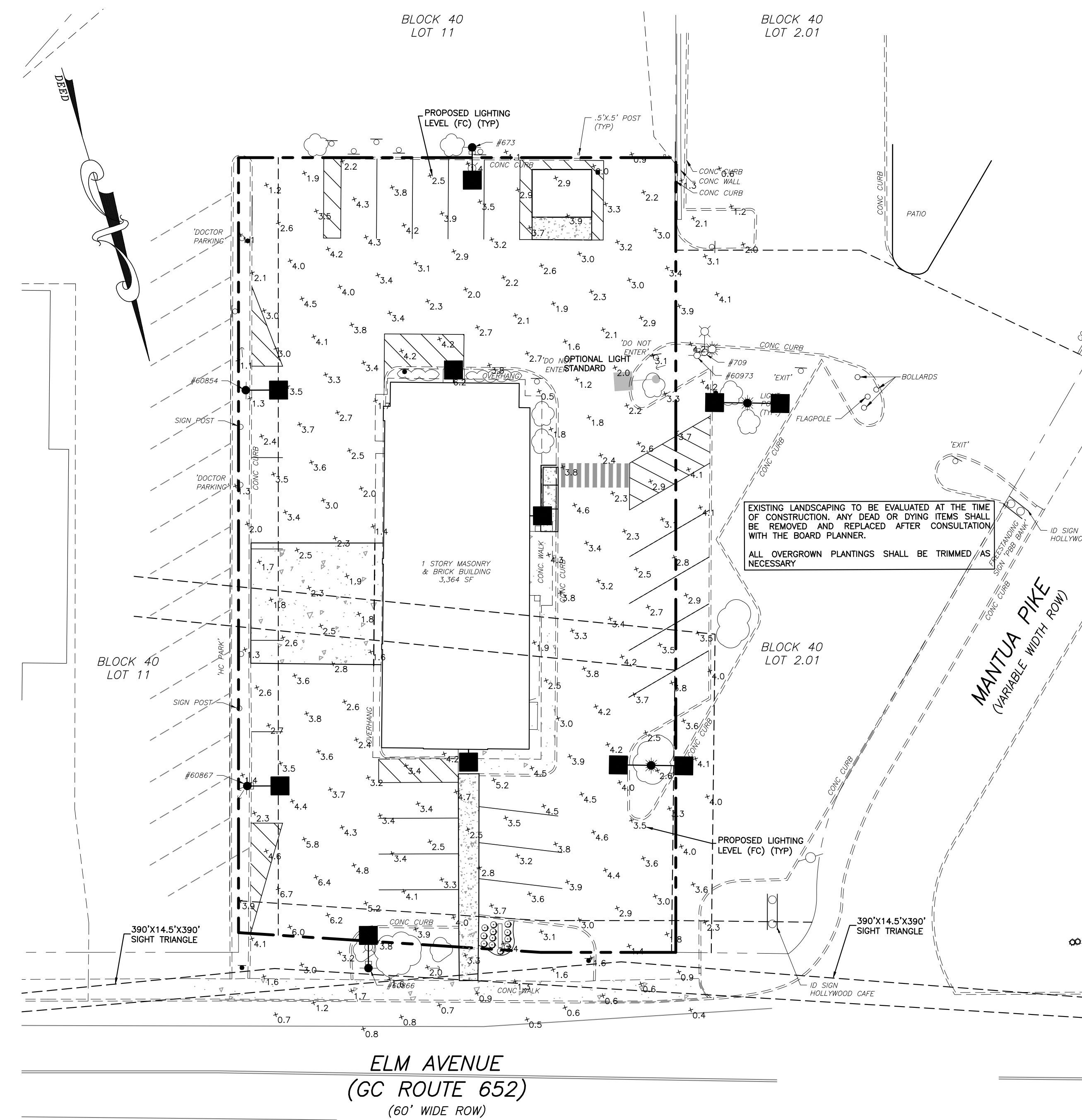
JAY F. SIMS
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04721900

NO.	DATE	REVISIONS
1	02/10/23	REVISED PER ENGINEER REVIEW LETTER DATED 01/23/23
2		
3		
4		
5		
6		
7		
8		
9		
10		

P:\Projects\2464-01\dwg\2464-01_SPM.dwg, SP & GD 01, sims, L1

LANDSCAPE NOTES

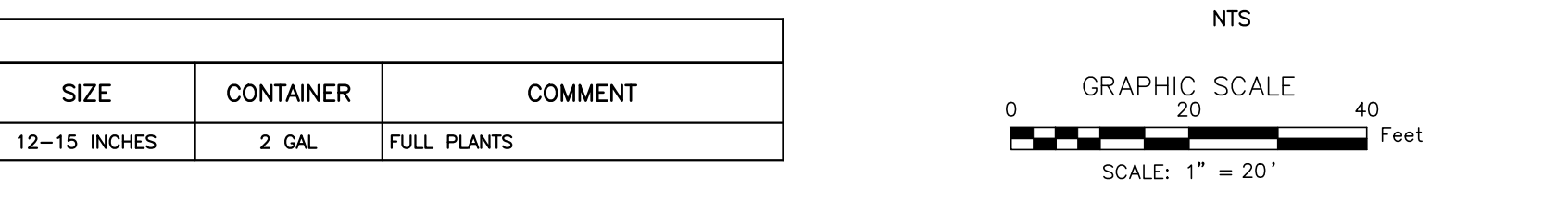
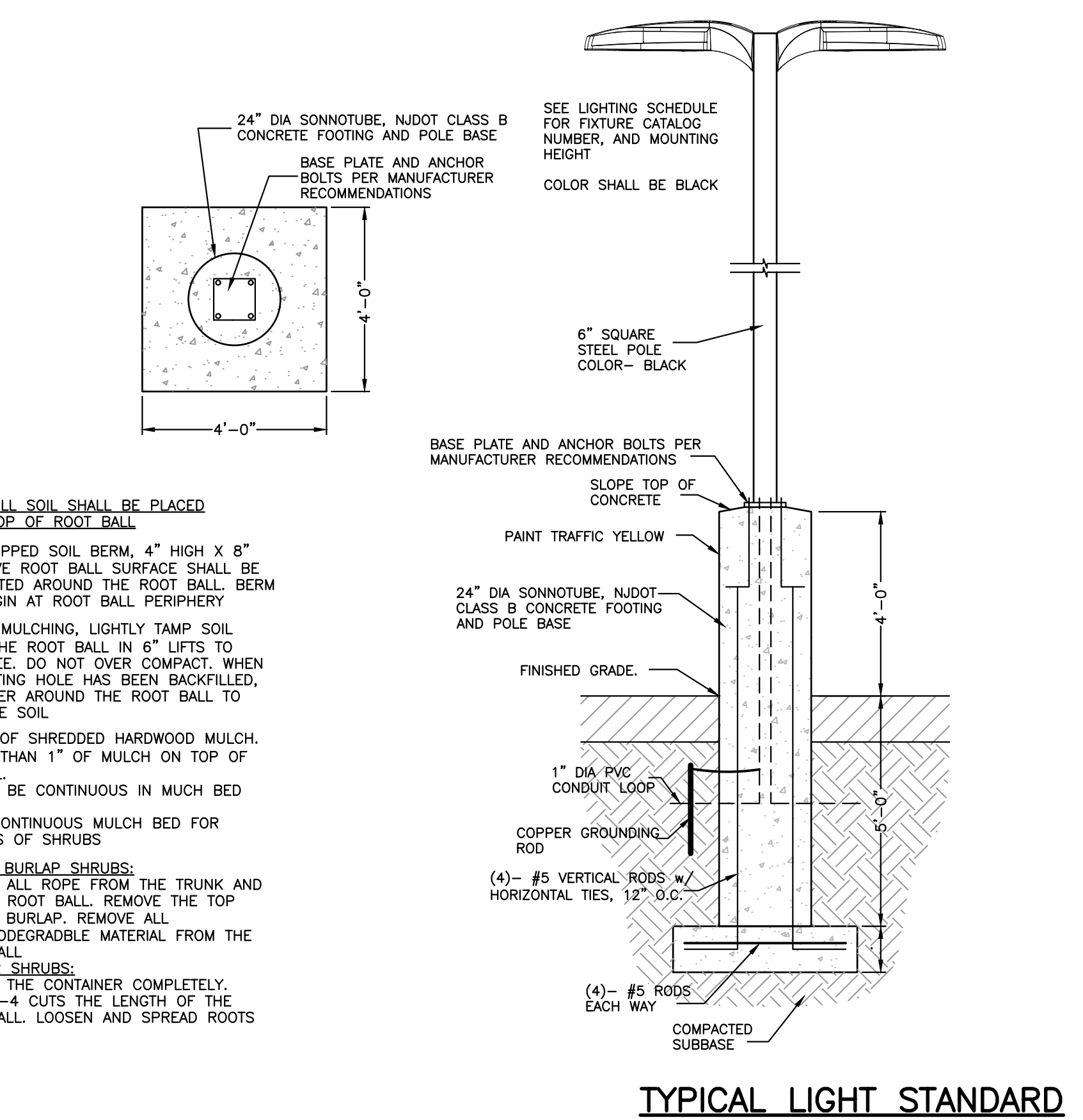
- I. PERMITS AND REGULATIONS
 - a. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, LAWFUL ORDERS, OR REGULATIONS GOVERNING UPON THIS WORK, AS WELL AS OBTAINING ANY REQUIRED PERMITS, INCLUDING ANY PERMITS REQUIRED FOR THE REMOVAL OF EXISTING VEGETATION.
 - b. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY MARK-OUTS. MARK-OUTS SHALL BE PROVIDED PRIOR TO EXCAVATION. PLAN LOCATIONS MAY BE ADJUSTED IN THE FIELD TO AVOID INTERFERENCE WITH UNDERGROUND UTILITIES, SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT, AND/OR MUNICIPAL PROFESSIONAL HAVING JURISDICTION.
2. IN THE CASE OF A DISCREPANCY IN THE PLANT QUANTITIES BETWEEN THE PLAN DRAWINGS, AND THE PLANT CALL OUTS, LIST OR PLANT SCHEDULE, THE NUMBER OF PLANTS OR SQUARE FOOTAGE OF THE PLANTING BED, ACTUALLY DRAWN ON THE PLAN DRAWINGS, SHALL BE DEEMED CORRECT AND PREVAIL.
3. LAYOUT
 - a. ALL PLANTS AND PLANT BED LOCATIONS SHALL BE STAKED IN THE FIELD AND LOCATIONS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT, OR THE DEVELOPER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - b. ALL SHADE TREES PROPOSED ALONG STREETS AND ACCESS DRIVES SHALL BE INSTALLED (6') SIX FEET SETBACK FROM THE BACK OF SIDEWALK, AND/OR CURB AS APPLICABLE WHEN SIDEWALK IS NOT PRESENT. NO TREES SHALL BE PLANTED IN THE GRASS STRIP BETWEEN THE CURB AND SIDEWALK.
 - c. ALL STREET AND PARKING LOT TREES SHALL BE PRUNED OF ANY BRANCHES THAT INTERFERE WITH PEDESTRIANS, VEHICLES, OR SIGNS. THE MINIMUM VERTICAL CLEARANCE HEIGHT SHALL BE 6' ABOVE PAVED SURFACES. STREET TREES MUST BE SINGLE-STEMMED, FULL, UNIFORM SPECIMENS.
4. SUBSTITUTIONS
 - a. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO FURNISH THE MATERIAL SPECIFIED.
 - b. PROPOSED PLANT MATERIAL MAY BE SUBSTITUTED BY SIMILAR PLANTS PRIOR TO INSTALLATION, BASED UPON AVAILABILITY, SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT, AND/OR MUNICIPAL PROFESSIONAL HAVING JURISDICTION.
 - c. THE CONTRACTOR SHALL SUBMIT ALL REQUESTS FOR SUBSTITUTIONS OF PLANT SPECIES, SIZE, AND/OR FORM/HABIT FOR APPROVAL. PRIOR TO PURCHASING THE PROPOSED SUBSTITUTION, THE SUBSTITUTION REQUEST SHALL BE ACCOMPANIED WITH A LIST OF NURSERIES CONTACTED IN THE SEARCH FOR THE REQUIRED PLANT. REQUESTS SHALL ALSO INCLUDE SOURCES OF PLANTS FOUND THAT MAY BE OF SMALLER OR LARGER SIZE, OF DIFFERENT FORM/HABIT THAN SPECIFIED, OF SAME GENUS/SPECIES BUT DIFFERENT CULTIVAR ORIGIN, OR WHICH MAY OTHERWISE NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS, BUT WHICH MAY BE AVAILABLE FOR SUBSTITUTION.
- II. PRODUCTS
 1. ALL PLANT MATERIAL SHALL BE OF HEALTHY STOCK, NURSERY GROWN AND SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVING NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, AND VIGOROUS ROOT SYSTEMS. ALL PLANT MATERIAL SHALL BE CERTIFIED TO BE FREE OF DIEBACK, DISEASE INSECTS, EGGS, BONES AND LARVAE. AT THE TIME OF INSTALLATION, ALL PLANTS SHALL HAVE A ROOT SYSTEM, STEM AND BRANCH FORM THAT WILL NOT RESTRICT NORMAL GROWTH, STABILITY AND HEALTH FOR THE EXPECTED LIFE OF THE PLANT.
 2. THE QUALITY, BRANCHING, AND SIZE (ABOVE AND BELOW THE SOIL LINE) OF ALL PLANT MATERIAL SHALL BE IN CONFORMANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" ANSI Z60 (MOST CURRENT EDITION) AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
 3. ALL PLANT MATERIAL SHALL BE TRUE TO NAME AS ORDERED OR SHOWN ON THE PLANTING PLANS AND SHALL BE LEGIBLY LABELED INDIVIDUALLY BY GENUS, SPECIES, VARIETY AND CULTIVAR.
 4. TREES SHALL HAVE (1) ONE CENTRAL LEADER. IF THE LEADER WAS HEADED, A NEW LEADER (WITH A LIVE TERMINAL BUD) AT LEAST ONE-HALF THE DIAMETER OF THE PRUNING CUT SHALL BE PRESENT.
 - a. ALL TREES ARE ASSUMED TO HAVE ONE CENTRAL LEADER UNLESS A DIFFERENT FORM IS SPECIFIED IN THE PLANT LIST/SCHEDULE OR DRAWINGS.
 5. ALL GRAFT UNIONS, WHERE APPLICABLE, SHALL BE COMPLETELY CLOSED WITHOUT VISIBLE SIGN OF GRAFT REJECTION. ALL GRAFTS SHALL BE VISIBLE ABOVE THE SOIL LINE.
 6. THE OWNER/DEVELOPER'S REPRESENTATIVE MAY REVIEW ALL PLANTS SUBJECT TO APPROVAL OF SIZE, HEALTH, QUALITY, CHARACTER, ETC. REVIEW OR APPROVAL OF ANY PLANT DURING THE PROCESS OF SELECTION, DELIVERY, INSTALLATION, AND ESTABLISHMENT PERIOD SHALL NOT PREVENT THE PLANT FROM LATER REJECTION IN THE EVENT THAT THE PLANT QUALITY CHANGES, OR PREVIOUSLY EXISTING DEFECTS BECOME APPARENT THAT WERE NOT OBSERVED. ANY PLANTS THAT ARE REJECTED SHALL BE IMMEDIATELY REMOVED OFF SITE AND SHALL BE REPLACED AT NO ADDITIONAL COST.
- III. SOIL
 1. A MINIMUM OF (6") SIX INCHES OF TOPSOIL SHALL BE RESPREAD OVER THE PREPARED SUBGRADE AT PLANTING BEDS. A MINIMUM OF (4") FOUR INCHES OF TOPSOIL SHALL BE RESPREAD OVER THE PREPARED SUBGRADE AT LAWN AREAS.
 2. ALL TOPSOIL FOR THE PROJECT WILL BE UTILIZED FROM EXISTING NATIVE TOPSOIL, HARVESTED AND STOCKPILED ON-SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR PH ADJUSTMENTS, NUTRIENT QUALITIES, PERCOLATION AND WATER HOLDING CAPABILITIES AS REQUIRED BY SPECIFIC PLANTS AS NOTED ON THE PLANT SCHEDULE.
 3. IF EXISTING NATIVE TOPSOIL IS DETERMINED TO BE UNSUITABLE ON-SITE, OR ADDITIONAL MATERIAL IS REQUIRED, AN APPROVED IMPORTED TOPSOIL WITH SIMILAR SOIL CHARACTERISTICS TO THE NATIVE TOPSOIL SHALL BE USED. ANY IMPORTED TOPSOIL MUST BE CERTIFIED TO BE FREE OF ENVIRONMENTAL CONTAMINATION, INCLUDING RESIDUAL PESTICIDES.
 4. ALL TOPSOIL SHALL BE SCREENED AND SHALL BE FREE OF STONES, STICKS, DEBRIS, OR ANY OTHER DELETERIOUS MATERIAL.
- IV. INSTALLATION
 1. PLANTING OPERATIONS SHALL BE PERFORMED ONLY DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH LOCAL ACCEPTED PRACTICES.
 2. B&B MATERIAL SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOT BALLS SHALL BE REJECTED. BURLAP SHALL BE REMOVED FROM THE TOP 1/3 OF THE ROOT BALL, PRIOR TO BACKFILLING.
 3. CONTAINER MATERIAL SHALL BE ESTABLISHED AND WELL ROOTED IN REMOVABLE CONTAINERS CONFORMING TO ANSI Z60.1 FOR CONTAINER PLANTS FOR EACH SIZE AND TYPE OF PLANT. ROOT BOUND MATERIAL SHALL BE REJECTED.
 4. ALL NON-BIODEGRADABLE MATERIAL SHALL BE COMPLETELY REMOVED FROM THE ROOT BALLS AND TREE PITS, INCLUDING PLASTIC TWINE AND WIRE BASKETS OR MECHANICALLY DUG MATERIAL. MATERIALS SHALL BE CUT AWAY WITH TOOLS THAT DO NOT DAMAGE THE INTEGRITY OF THE ROOT BALL.
 5. THE ROOT FLARE OF ALL TREES SHALL BE EXPOSED AND SHALL BE (1") ONE TO (2") TWO INCHES ABOVE THE FINISHED GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADE AND ALIGNMENT.
 6. ROOT BALLS MAY REQUIRE SHAVING TO EXPOSE ROOT FLARES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED BY IMPROPER ROOT BALL SHAVING AND SHALL REPLACE DAMAGED OR IRREPARABLE MATERIAL AT NO ADDITIONAL COST.
 7. IN ACCORDANCE WITH THE PLANTING DETAILS, NO BACKFILL SOIL SHALL BE PLACED ON THE TOPS OF ROOT BALLS, NO MULCH SHALL COME IN CONTACT WITH THE TRUNKS OF TREES, AND ROOT FLARES SHALL BE EXPOSED AND VISIBLE AT (1") ONE TO (2") TWO INCHES ABOVE FINISHED GRADE.
 8. GUY WIRES AND STAKES SHALL ONLY BE UTILIZED IF CONDITIONS MERIT AND SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE FIRST YEAR, OR AS OTHERWISE DIRECTED BY THE OWNER.
 9. THE OWNER/DEVELOPER'S REPRESENTATIVE MAY REVIEW ALL PLANTING OPERATIONS SUBJECT TO APPROVAL OF PERFORMANCE OF THE SPECIFICATIONS. REVIEW OR APPROVAL OF ANY PLANTING OPERATION DURING THE PROCESS OF INSTALLATION, AND ESTABLISHMENT PERIOD SHALL NOT PREVENT THAT PLANT FROM LATER REJECTION. ANY PLANTINGS THAT ARE REJECTED SHALL BE IMMEDIATELY REMEDIATED AT NO ADDITIONAL COST.
 10. THOROUGHLY WATER THE PLANTING SOIL AND ROOT BALL IMMEDIATELY AFTER PLANTING.



PLANTING LIST -- PHASE I

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	COMMENT
□	12	JUNIPERUS CONFERTA	BLUE PACIFIC JUNIPER	12-15 INCHES	2 GAL	FULL PLANTS

- V. MULCH
 26. ALL TREE PITS AND PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF (3") INCHES WITH A DOUBLE-SHREDDED HARDWOOD MULCH.
 27. MULCH SHALL NOT BE IN CONTACT WITH THE TRUNKS OF TREES OR SHRUBS AND SHALL NOT COVER THE LOWER BRANCHES OF SHRUBS AND EVERGREEN/MULTI-STEMMED TREES.
 28. ALL BEDLINES SHALL BE CUT (4") FOUR INCHES DEEP INTO A "V" SHAPED GROOVE TO PROVIDE A WELL-DEFINED EDGE. THE LAYOUT OF ALL BEDLINES SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT AND/OR OWNER/DEVELOPER'S REPRESENTATIVE.
- VI. VEGETATIVE COVER
 29. ALL DISTURBED AREAS NOT CONTAINING BUILDINGS, PAVEMENT, SIDEWALK OR LANDSCAPING SHALL BE TOPSOILED TO A DEPTH OF (4") FOUR TO (6") SIX INCHES, FERTILIZED, AND SEEDED OR SODDED IN ACCORDANCE WITH THE SPECIFICATIONS FOR PERMANENT VEGETATIVE COVER IN THE NOTES FOR SOIL EROSION AND SEDIMENT CONTROL.
 30. ALL GRASS SEED SHALL BE BLUE TAGGED CERTIFIED FOR PURITY AND GERMINATION BY THE OFFICIAL SEED ANALYSTS OF NORTH AMERICA. WET, MOLDY, OR OTHERWISE CONTAMINATED SEED SHALL BE REJECTED.
 31. NURSERY GROWN, CERTIFIED SOD IS ACCEPTABLE AS AN OPTION TO SEEDED LAWN. SOD SHALL BE OF GOOD HEALTHY COLOR, MOIST, UNIFORMLY CUT, AND STRIPS SHOULD BE FIRM WITHOUT TEARS. SOD SHOULD BE HARVESTED AND DELIVERED WITHIN 36 HOURS.
- VII. WARRANTY
 32. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL INSTALLED UNDER THIS CONTRACT FOR A PERIOD OF TWO (2) YEARS FROM THE TIME OF FINAL ACCEPTANCE BY THE MUNICIPALITY.
 33. ALL PLANTS DEEMED TO BE DEAD, SEVERELY DECLINING OR OTHERWISE UNSIGHTLY HAVING LOST THEIR DESIGN VALUE SHALL BE REPLACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, PLANT SCHEDULE AND DRAWINGS WITHIN THE NEXT GROWING SEASON DURING THE MAINTENANCE/WARRANTY PERIOD.
 34. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE WATERING AND MAINTENANCE DURING THE MAINTENANCE/WARRANTY PERIOD TO ENSURE THE PLANT MATERIAL THRIVES.
- VIII. MAINTENANCE
 35. MAINTENANCE PROCEDURES SHALL BE CARRIED OUT BY TRAINED PERSONNEL TO PROMOTE THE ESTABLISHMENT OF THE TREES AND SHRUBS AND ENSURE THAT THEY ARE IN HEALTH AND VIGILE CONDITION TWO (2) YEARS AFTER PLANTING AT SITE.
 36. THE CONTRACTOR SHALL PROVIDE ALL WATERING REQUIRED TO KEEP SOIL WITHIN AND AROUND THE ROOT BALLS AND LAWN AREAS AT OPTIMAL MOISTURE CONTENT FOR PLANT GROWTH. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE WATER IF NO SURFACE IRRIGATION OR WATER SOURCE IS AVAILABLE ON SITE.
 37. PLANT BEDS AND MULCH TREE RINGS SHALL BE KEPT FREE OF WEEDS BY USING EITHER CHEMICAL CONTROLS OR HAND WEEDING. ANY PRE-EMERGENT OR POST-EMERGENT WEED CONTROL APPLICATION SHALL BE APPLIED IN A MANNER CONSISTENT WITH THE LABEL AND ALL STATE AND FEDERAL REGULATIONS, AND ONLY TARGET THE UNDESIRABLE PLANTS.
 38. TREE STAKES AND SUPPORTING MATERIALS SHALL BE MAINTAINED OR REPLACED AS NECESSARY DURING THE MAINTENANCE PERIOD. SEE PLANTING DETAIL. ALL STAKING AND GUY MATERIALS SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR AT THE END OF THE FIRST YEAR, OR AS OTHERWISE DIRECTED BY THE OWNER. NO STAKING / GUYING MATERIAL SHALL REMAIN AFTER TWO (2) YEARS.
 39. TREES SHALL BE MAINTAINED IN A TAUGHT POSITION. ANY TREE THAT DEVIATES FROM A VERTICAL POSITION SHALL BE ADJUSTED SO THAT THE MAIN TRUNK IS PLUMB IN TWO DIRECTIONS THAT ARE 90 DEGREES FROM EACH OTHER. ALL CARE SHALL BE TAKEN NOT TO HARM THE ROOT BALL OR ROOT SYSTEM OF THE TREE DURING RESETTLE OPERATIONS.
 40. TREES SHALL BE KEPT FREE OF DISEASE OR INSECT INFESTATIONS THAT CAN AFFECT THEIR HEALTH OR ESTABLISHMENT. ANY PEST CONTROL APPLICATION SHALL BE APPLIED IN A MANNER CONSISTENT WITH THE LABEL AND ALL STATE AND FEDERAL REGULATIONS, AND SHALL ONLY TARGET THE UNDESIRABLE PESTS AND THE AFFECTED PLANTS.
 41. A BALANCED SLOW RELEASE FERTILIZER SHALL BE APPLIED TO ALL TREES AT THE RECOMMENDED RATE AT THE END OF THE FIRST GROWING SEASON IN LATE FALL. THE FERTILIZER SHALL BE FORMULATED FOR TREES. ANY FERTILIZER APPLICATION SHALL BE APPLIED IN A MANNER CONSISTENT WITH THE LABEL AND ALL STATE AND FEDERAL REGULATIONS.
 42. PRUNING SHALL BE DONE ONLY TO REMOVE CROSS OVER BRANCHING, TO SHORTEN OR REMOVE CODOMINANT STEMS, AND TO REMOVE BRANCHES THAT ARE DEAD, BROKEN, DISEASED OR INFESTED. NO PLANTS SHALL BE SHEARED OR HEADED, UNLESS DIRECTED BY THE OWNER. ALL PRUNING CUTS SHALL BE IN ACCORDANCE WITH THE NJ BOARD OF TREE EXPERTS' PRUNING STANDARDS FOR SHADE TREES AND ANSI A300.



LANDSCAPE & LIGHTING PLAN

SHIV PRASAD, LLC
 PLATE 3, BLOCK 40, LOTS 3 & 11.01
 WOODBURY HEIGHTS BOROUGH, GLOUCESTER COUNTY, NEW JERSEY

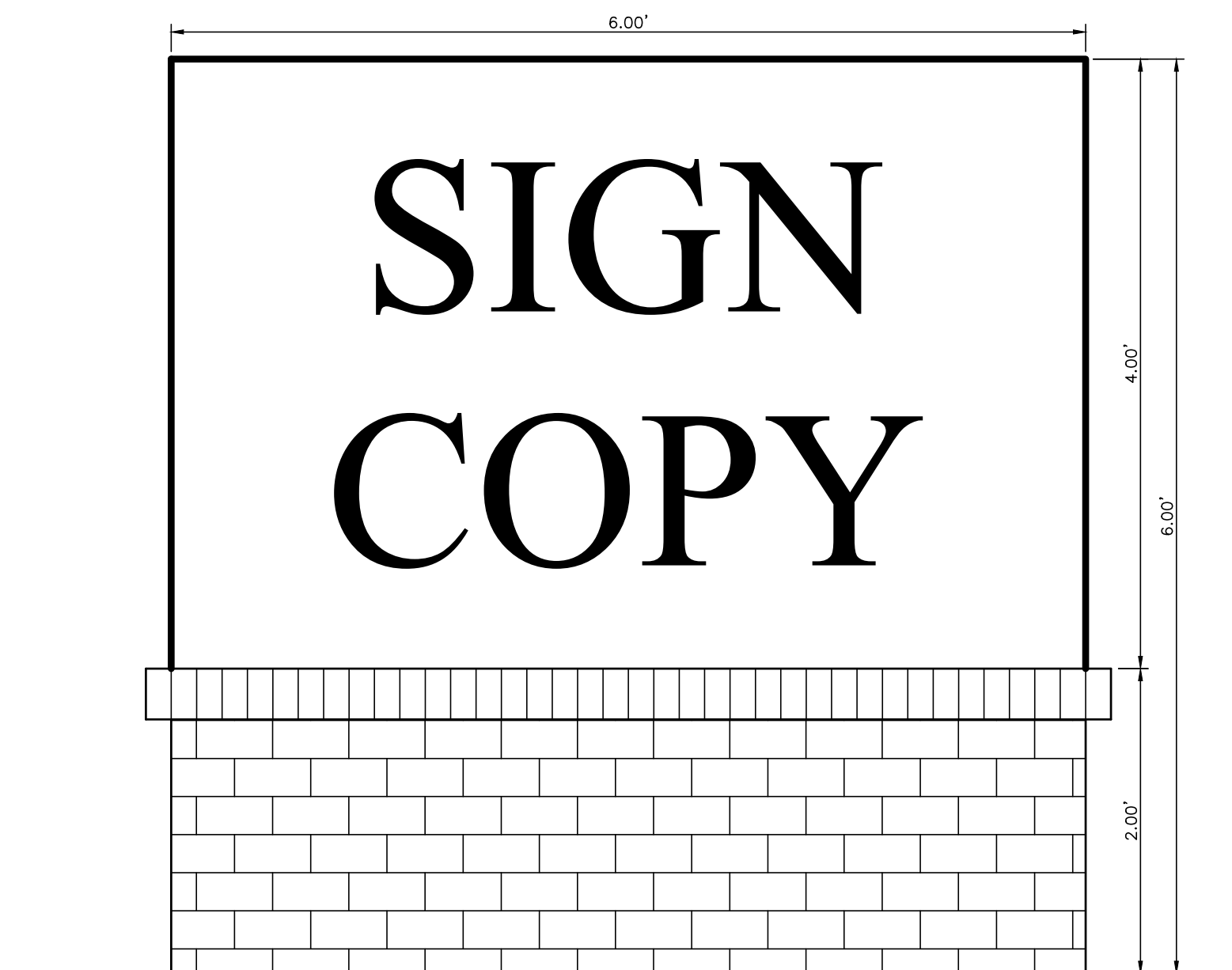
PREPARED BY:
 CONSULTING ENGINEER SERVICES
 PROFESSIONAL ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NJ 08081
 PH: 609-426-7700 FAX: 609-426-7700
 NJ CERTIFICATE OF AUTHORIZATION No. 2406787700, 21MR000134

JAY F. SIMS
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04721900

DATE: 02/10/23
 REVISIONS: 01/23/23

US: 02/10/23 REVISED PER ENGINEER REVIEW LETTER DATED 01/23/23
 DATE: 02/10/23
 DRAWN BY: S. PRASAD
 CHECKED BY: S. PRASAD
 PROJECT NO.: 2406787700
 SHEET NO.: 01 OF 06
 DATE: 02/10/23
 SCALE: 1"=20'
 FILE NO.: 2406787700-01

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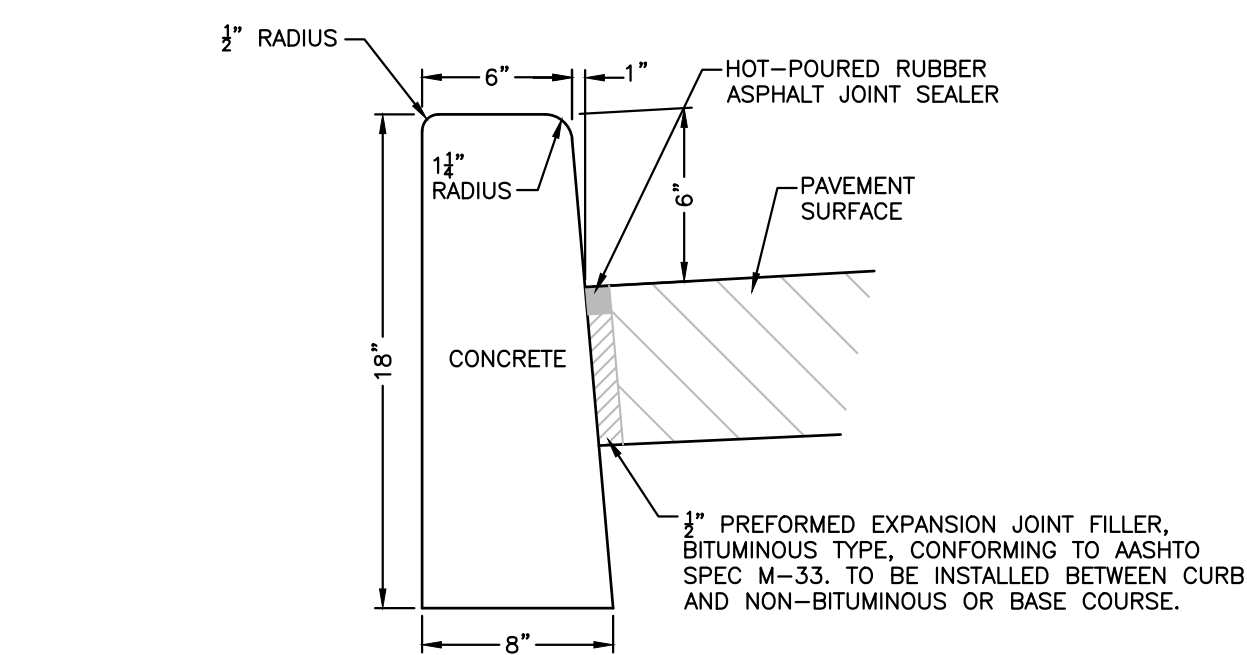


NOTES:

- SIGN AREA= 24 SQUARE FEET
- DETAIL IS FOR ILLUSTRATIVE PURPOSES ONLY. A COMPREHENSIVE DESIGN IS REQUIRED PRIOR TO CONSTRUCTION.

MONUMENT SIGN DETAIL

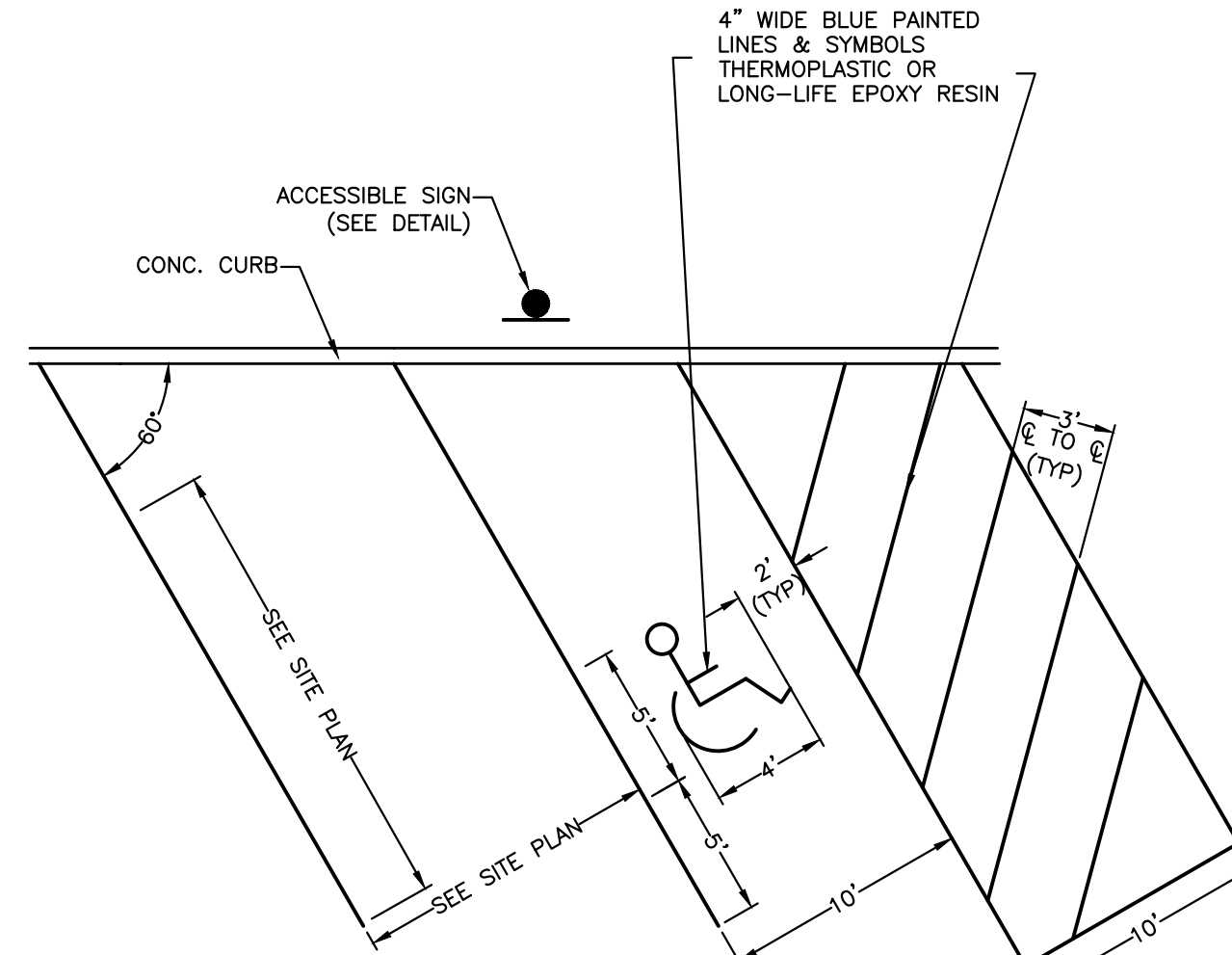
NTS



TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER JOINT FILLER COMPLYING WITH REQUIREMENTS FOR TYPE III FILLER IN AASHTO SPEC M-213, RECESSED 1/4" IN FROM FACE AND TOP OF CURB. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT-PRICE BID FOR CURB.

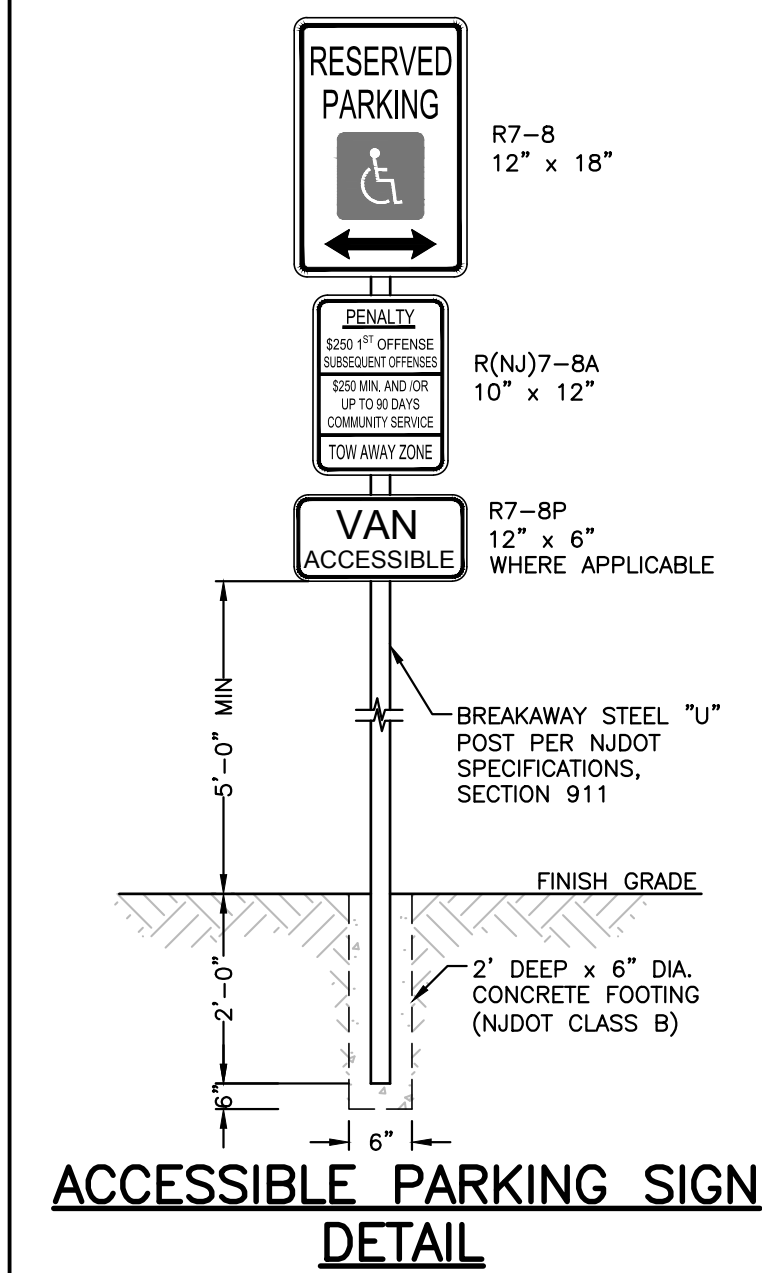
CONCRETE VERTICAL CURB-MUNICIPAL

NTS



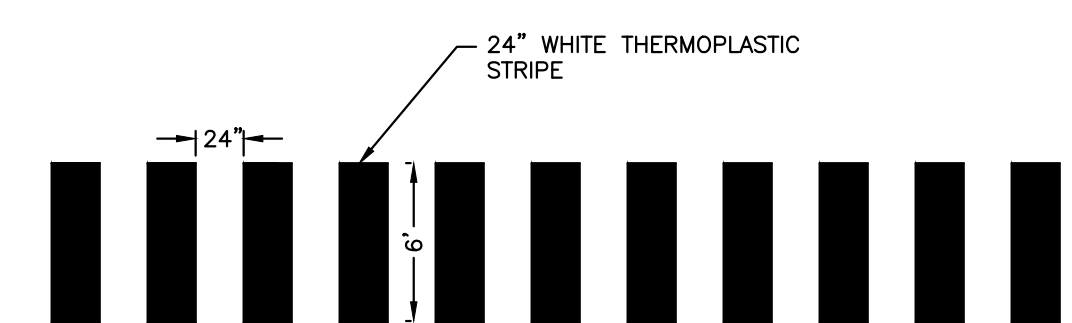
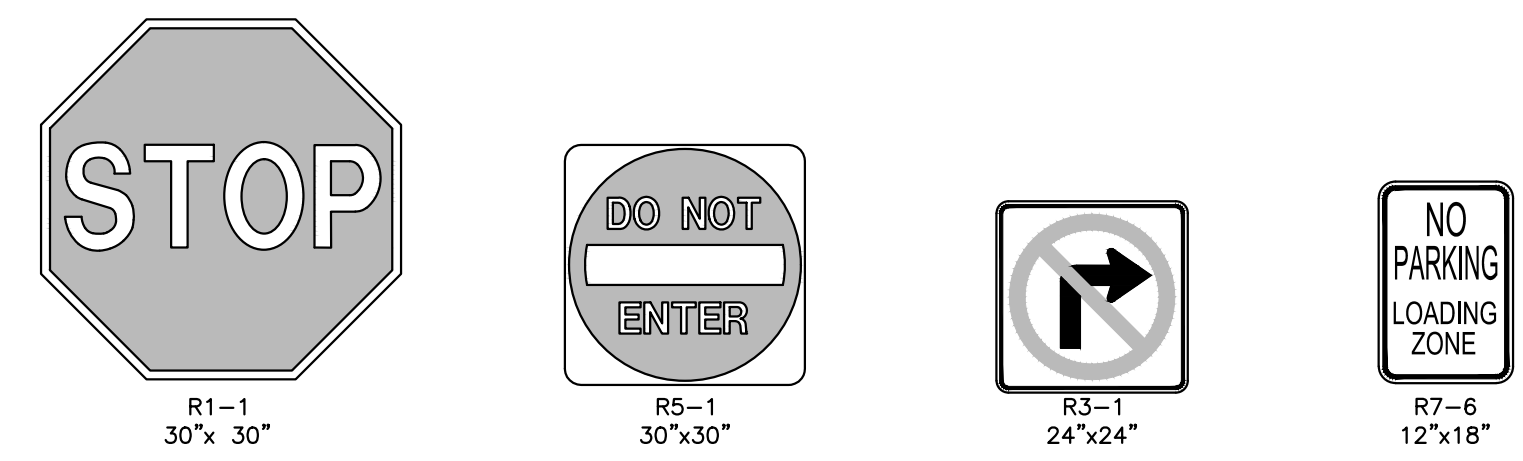
ACCESSIBLE PARKING DETAIL

NTS



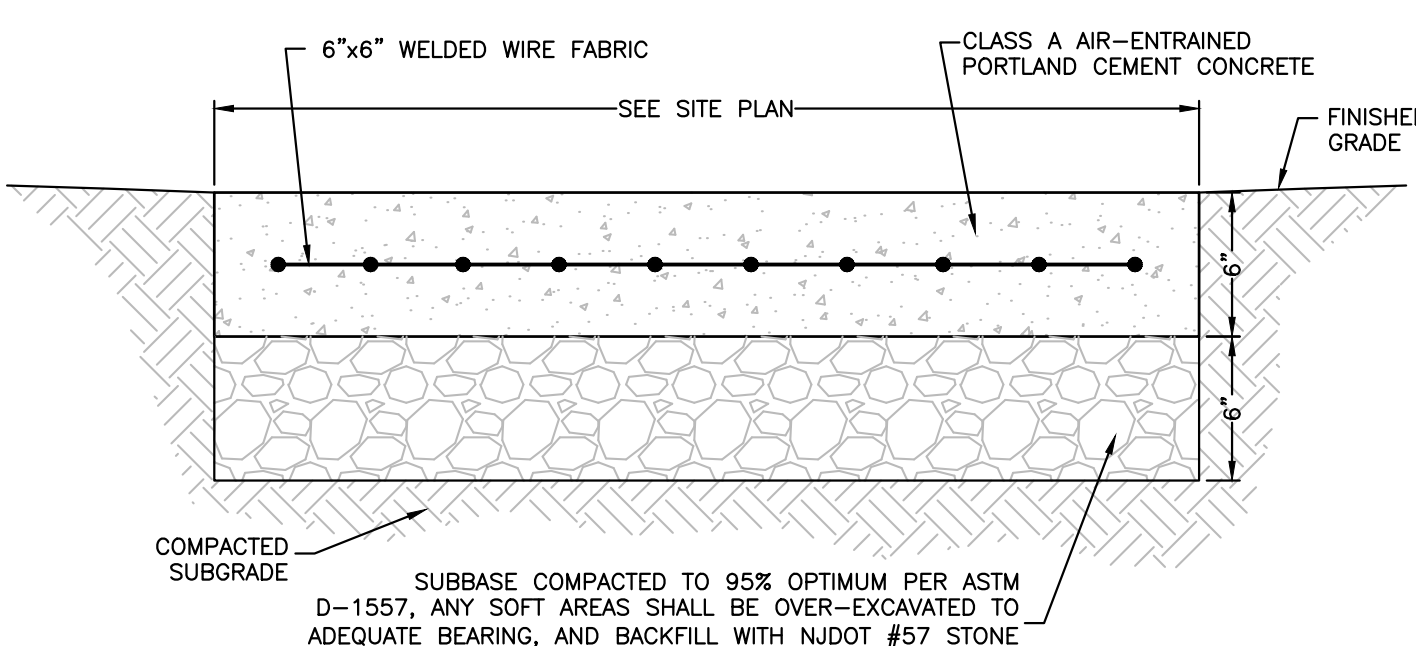
ACCESSIBLE PARKING SIGN DETAIL

NTS



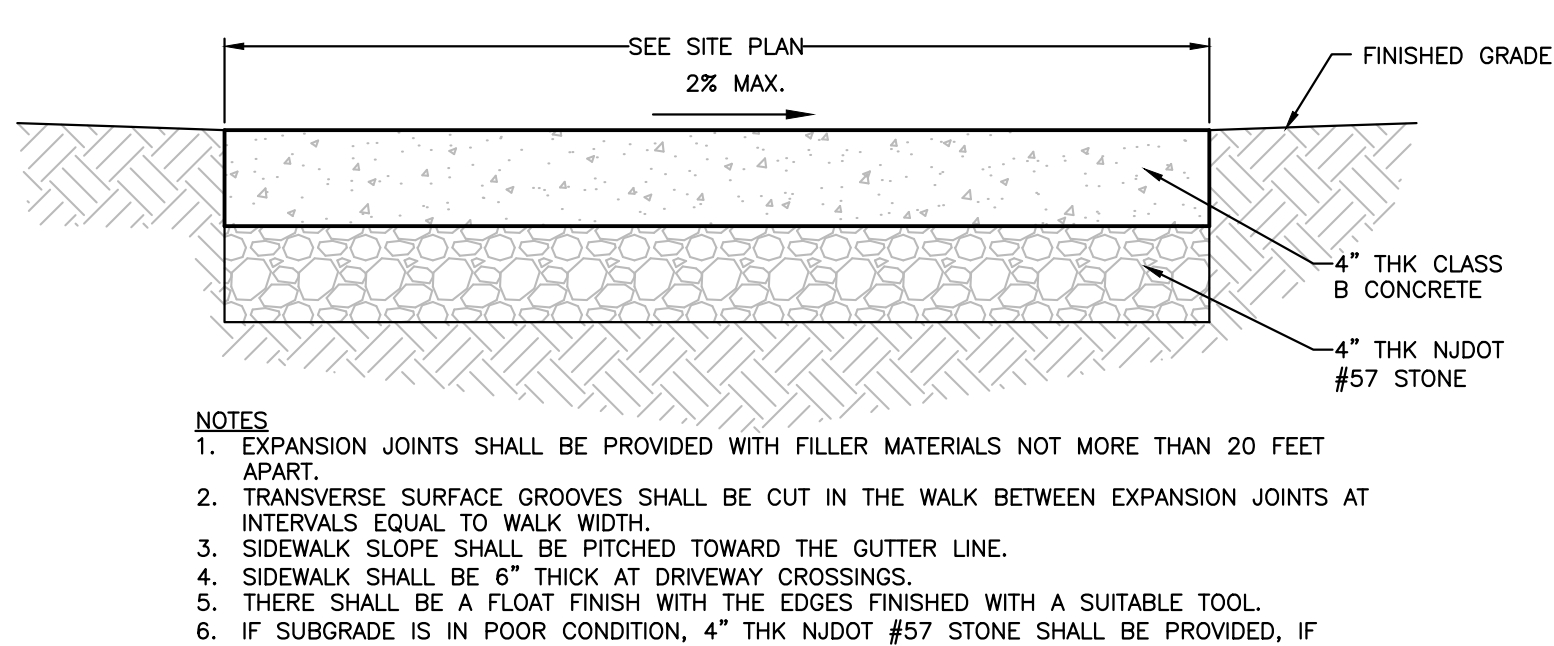
CONTINENTAL STRIPE CROSSWALK

NTS



CONCRETE PAD SECTION (W/SUBBASE)

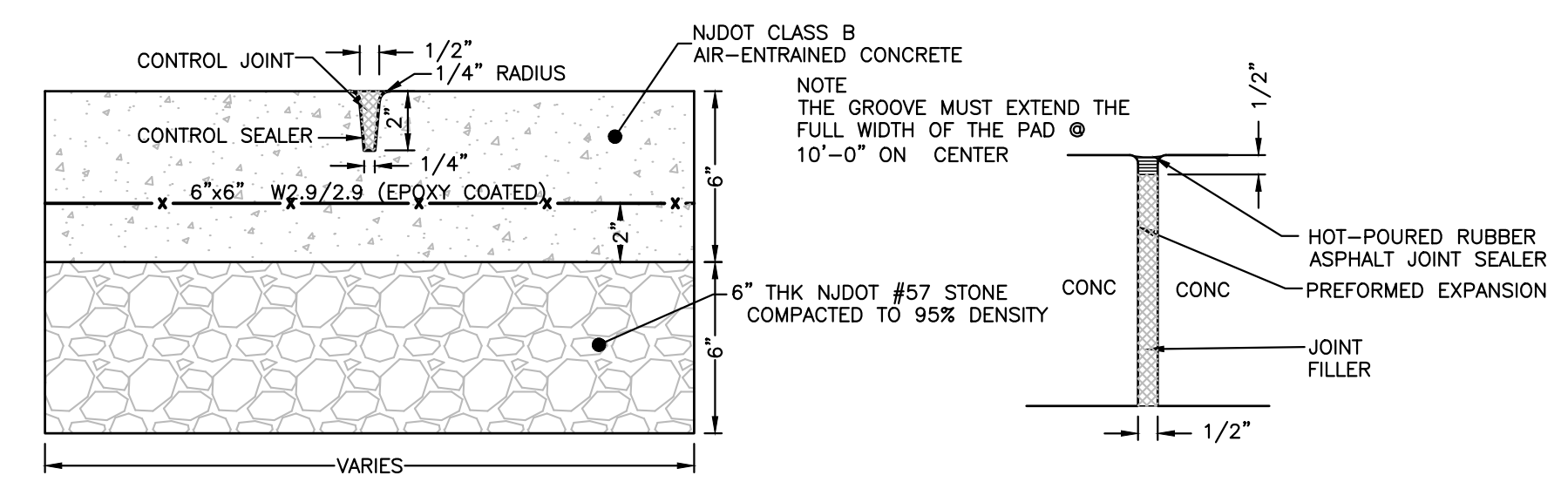
NTS



CONCRETE SIDEWALK (W/SUBBASE)

NTS

- NOTES:**
- EXPANSION JOINTS SHALL BE PROVIDED WITH FILLER MATERIALS NOT MORE THAN 20 FEET APART.
 - TRANSVERSE SURFACE GROOVES SHALL BE CUT IN THE WALK BETWEEN EXPANSION JOINTS AT INTERVALS EQUAL TO WALK WIDTH.
 - SIDEWALK SLOPE SHALL BE PITCHED TOWARD THE GUTTER LINE.
 - SIDEWALK SHALL BE 6" THICK AT DRIVEWAY CROSSINGS.
 - THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.
 - IF SUBGRADE IS IN POOR CONDITION, 4" THK NJDOT #57 STONE SHALL BE PROVIDED, IF AND WHERE DIRECTED BY THE TOWNSHIP ENGINEER.



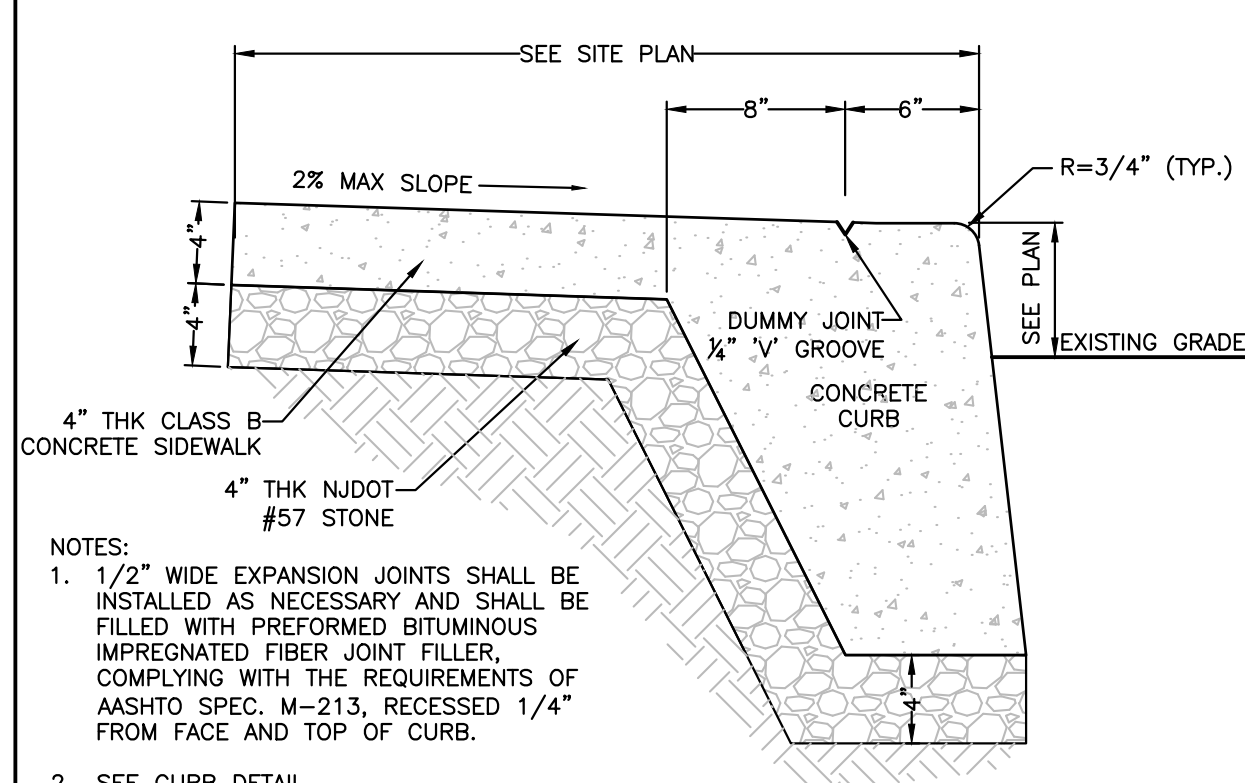
EXPANSION JOINT DETAIL

NTS

- NOTES:**
- JOINT SEALER MATERIAL MUST NOT BE OVERHEATED. SEE MAXIMUM SAFE HEATING TEMPERATURE SHOWN ON PACKAGE CONTAINING SEALER.
 - WWF STEEL WIRE FABRIC SHALL NOT BE LESS THAN 5 FEET IN WIDTH AND SHALL BE SHIPPED IN SHEETS NOT IN ROLLS AND SHALL CONFORM TO AASHTO M55.

TRASH ENCLOSURE CONCRETE PAD DETAIL

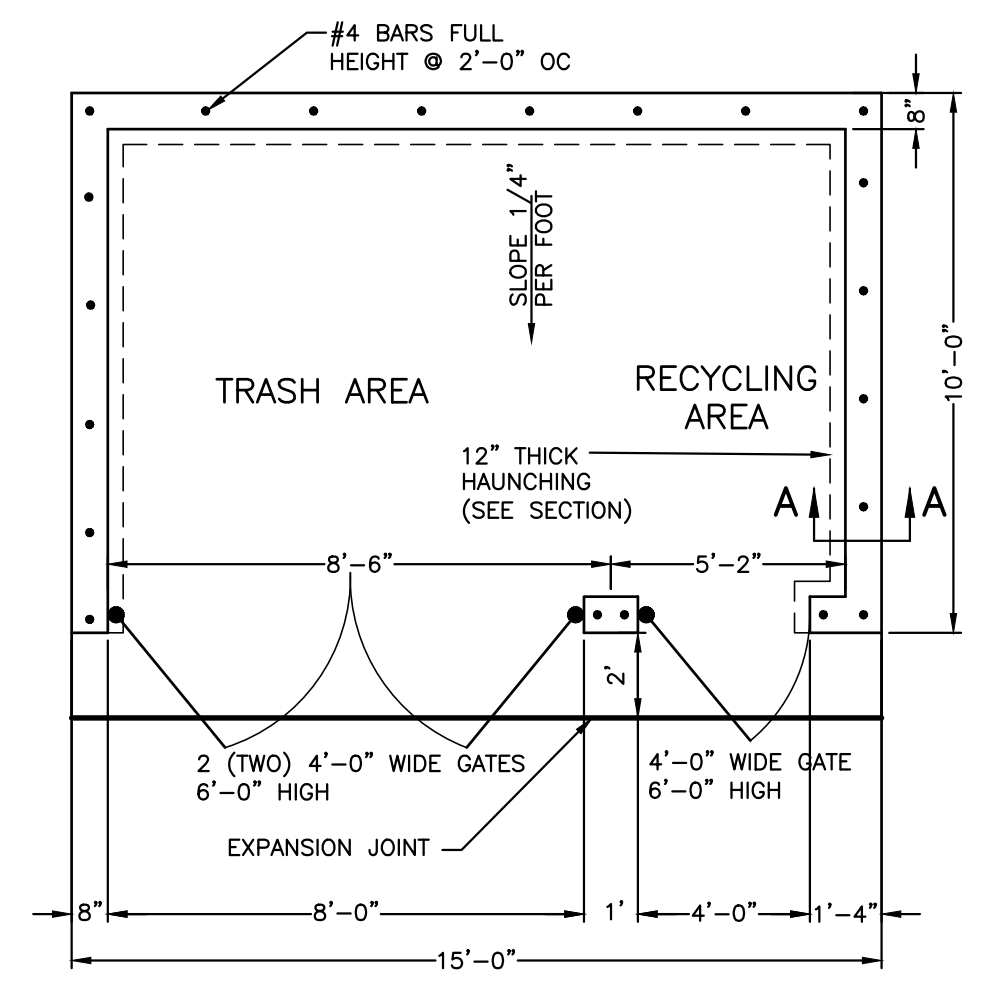
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SIDEWALK/MONOLITHIC CURB DETAIL

NTS

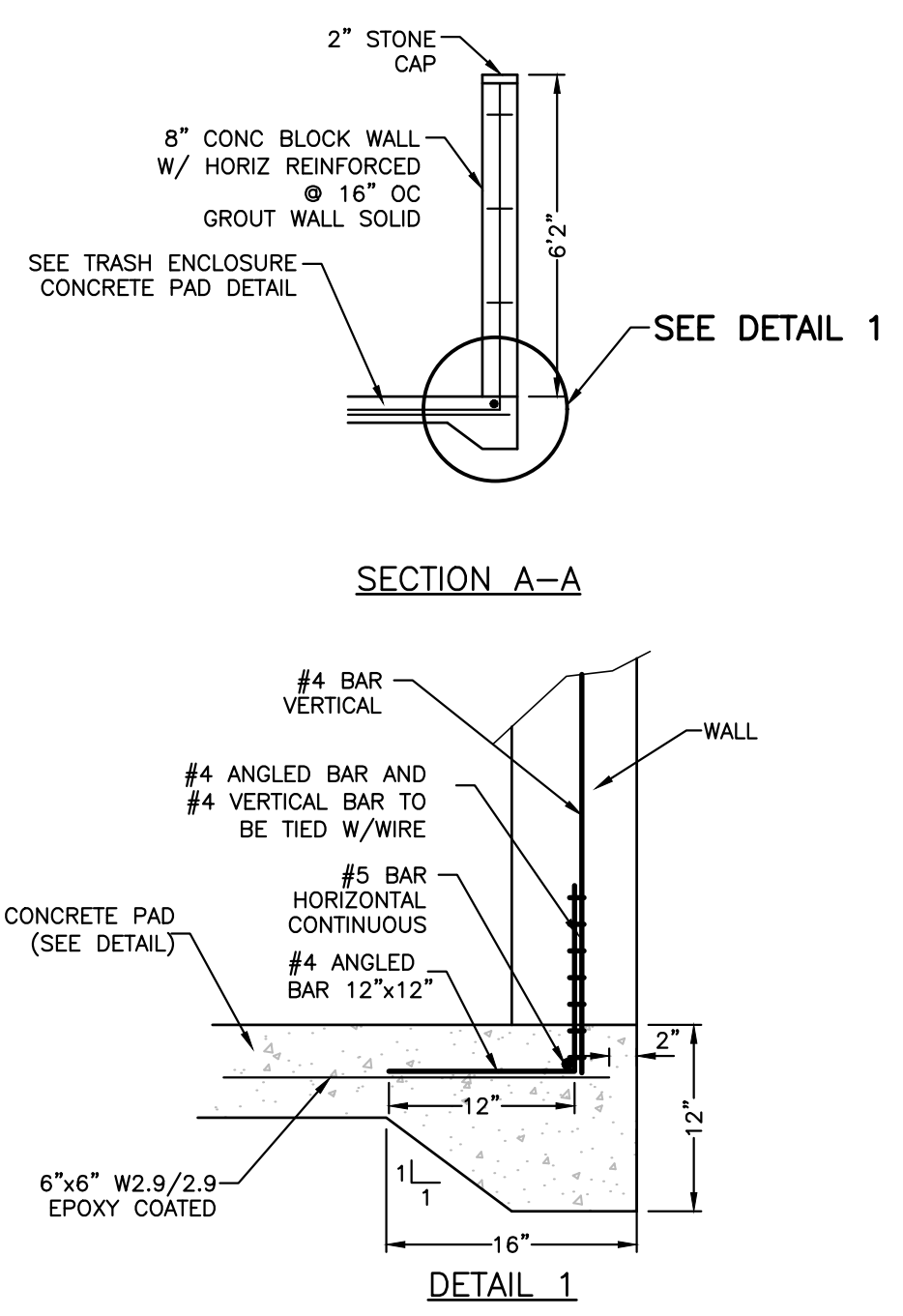
- NOTES:**
- 1/2" WIDE EXPANSION JOINTS SHALL BE INSTALLED AS NECESSARY AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER JOINT FILLER. COMPLYING WITH THE REQUIREMENTS OF AASHTO SPEC. M-213, RECESSED 1/4" FROM FACE AND TOP OF CURB.
 - SEE CURB DETAIL.



TRASH & RECYCLING ENCLOSURE (10'x15')

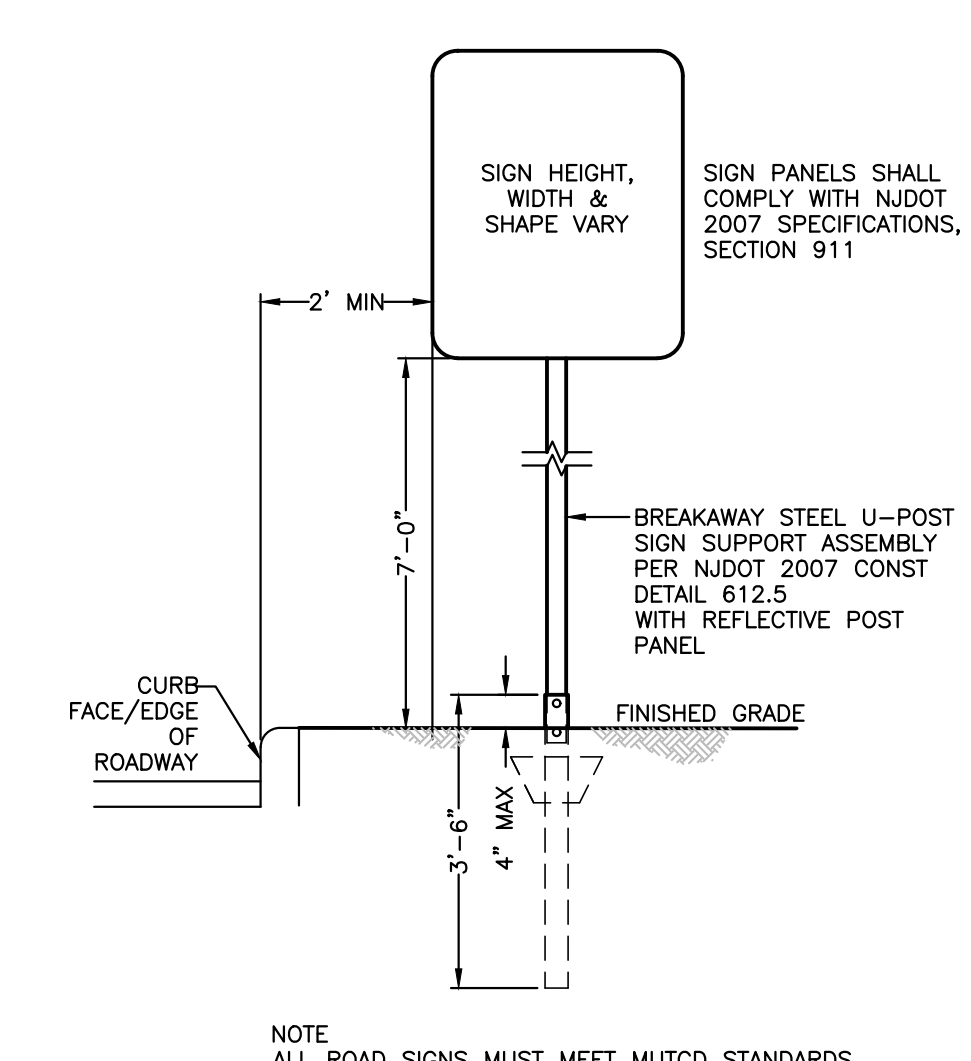
NTS

- NOTES:**
- WALL FINISH TO MATCH BUILDING.
 - ALL GATES TO BE CHAIN LINK FENCE WITH PLASTIC STRIPS TO MATCH MASONRY WALLS.
 - ALL GATES ARE TO HAVE SELF CLOSING HINGES.



SECTION A-A

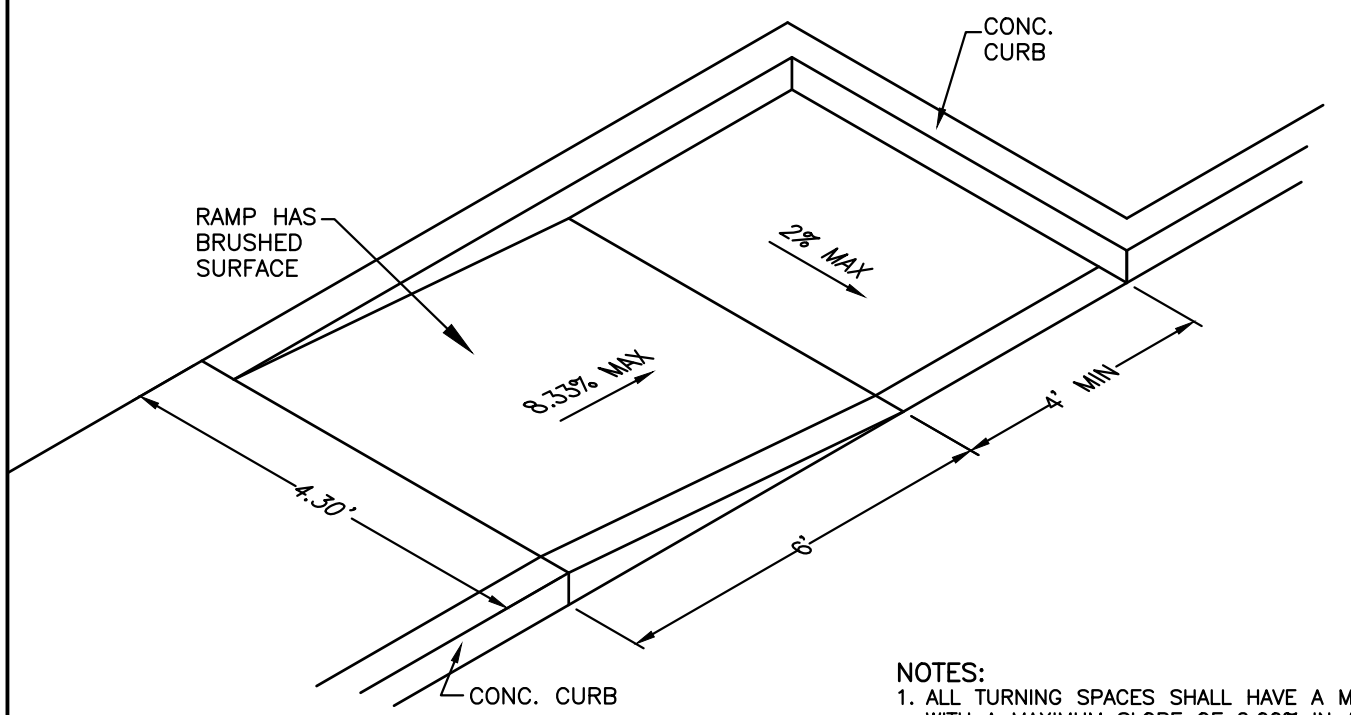
DETAIL 1



TRAFFIC SIGN POST DETAIL

NTS

NOTE: ALL ROAD SIGNS MUST MEET MUTCD STANDARDS

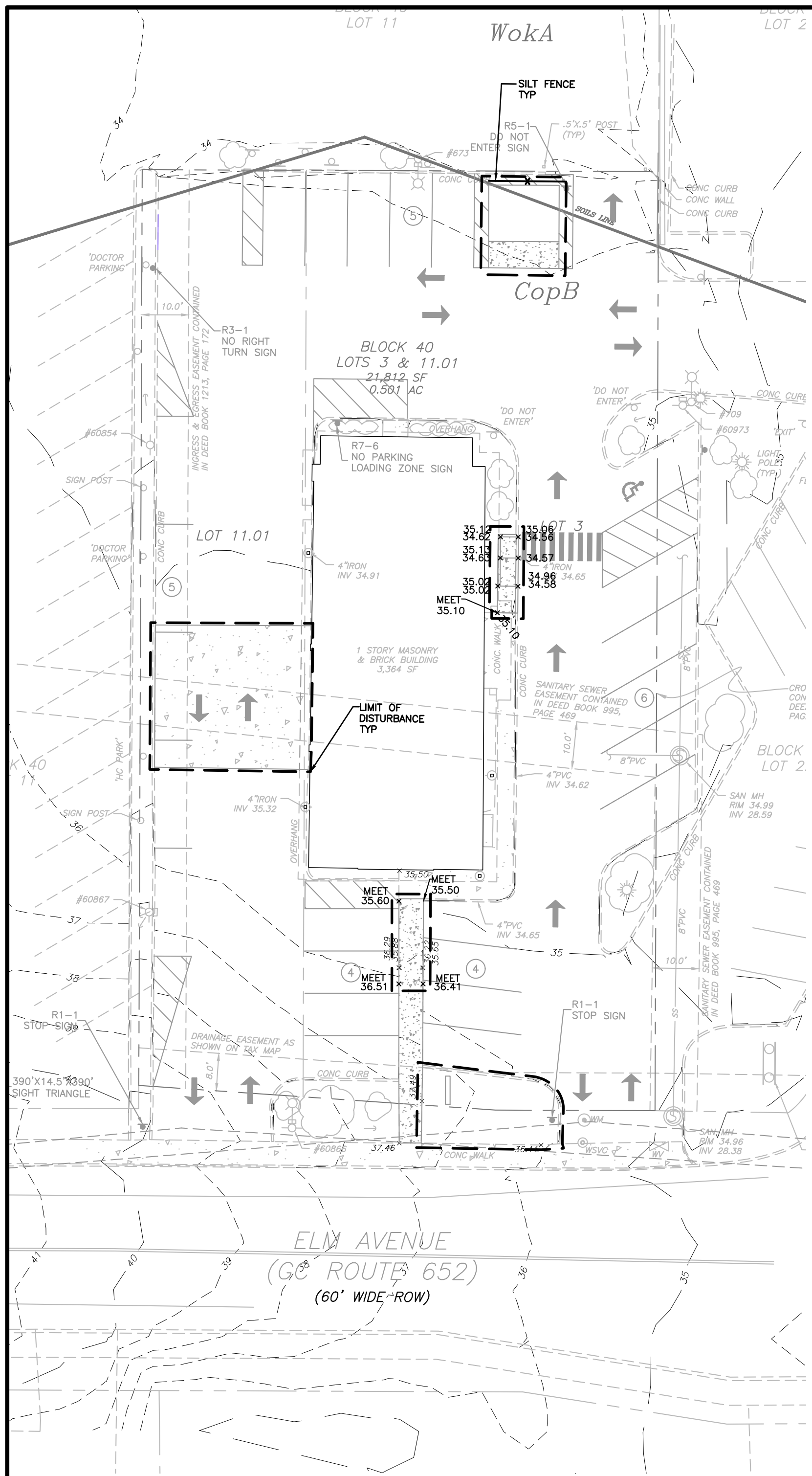


CURB RAMP DETAIL

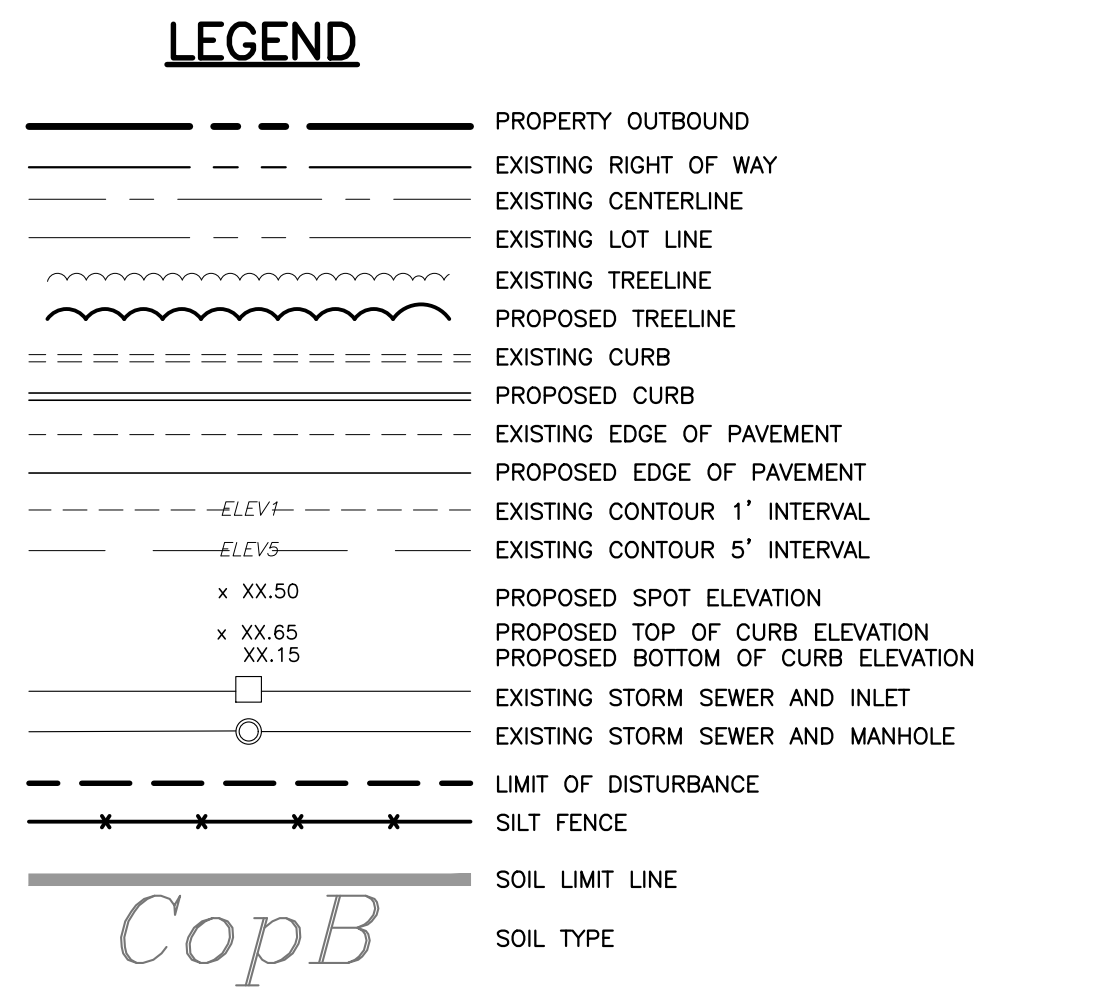
NTS

- NOTES:**
- ALL TURNING SPACES SHALL HAVE A MINIMUM AREA OF 4' x 4' WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION.
 - ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00%.
 - ANY SIDEWALK OR RAMP FOUND TO HAVE A SLOPE EXCEEDING ADA/PROWAG REQUIREMENTS (AT THE TIME OF CONSTRUCTION) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S OWN EXPENSE.

PREPARED BY: CONSULTING SERVICES ENGINEERS, PLANNERS, & LAND SURVEYORS
 645 BERLIN-CROSS KEYS ROAD, SUITE 1, SICKLERVILLE, NJ 08081
 PHONE: 609-426-7700 FAX: 609-426-7700
 NJ CERTIFICATE OF AUTHORIZATION No. 2404278700, 2144000134
 DATE: 01/17/23 SCALE: AS NOTED. CES No. 2846-01 FILE No. 2846-01-001
 DRAWN BY: XBP
 CHECKED BY: JFS
 APPROVED BY: JFS
 DATE: 01/17/23
 REVISIONS:
 US 02/10/23 REVISED PER ENGINEER REVIEW LETTER DATED 01/23/23
 DATE: 01/23/23
 JAY F. SIMS
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04721900



DESIGNATION	NAME	SLOPES	SOIL CLASS
CopB	COLLINGTON-URBAN LAND COMPLEX	0-5%	B



CONSTRUCTION SEQUENCE

1. MOBILIZATION	1 DAY
2. CONSTRUCT TEMPORARY SOIL EROSION & SEDIMENT CONTROL FACILITIES	1 DAY
3. DEMOLITION/SITE CLEARING	1 WEEK
4. CONSTRUCT HC RAMP, SIDEWALK, AND TRASH ENCLOSURE	1 WEEK
5. STRIPING	1 DAY
9. REMOVE TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES	1 DAY
TOTAL ESTIMATED TIME OF CONSTRUCTION	2 WEEKS ±

SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
- SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
- THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE GLOUCESTER SOIL CONSERVATION DISTRICT.
- ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
- A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARDS FOR STABILIZED CONSTRUCTION ACCESS.
- ALL DRIVEWAYS MUST BE STABILIZED WITH 2-1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
- ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC. (SEE DETAIL). THE BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.
- NJSA 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
- OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
- THE GLOUCESTER SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
- ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPIILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
- ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE GLOUCESTER SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A PH OF 4 OR LESS.
- TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
- ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATING AND FILLING OPERATIONS ON THE PROPOSED SITE.
- USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
- ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
- NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
- THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

TEMPORARY SOIL STABILIZATION COVER

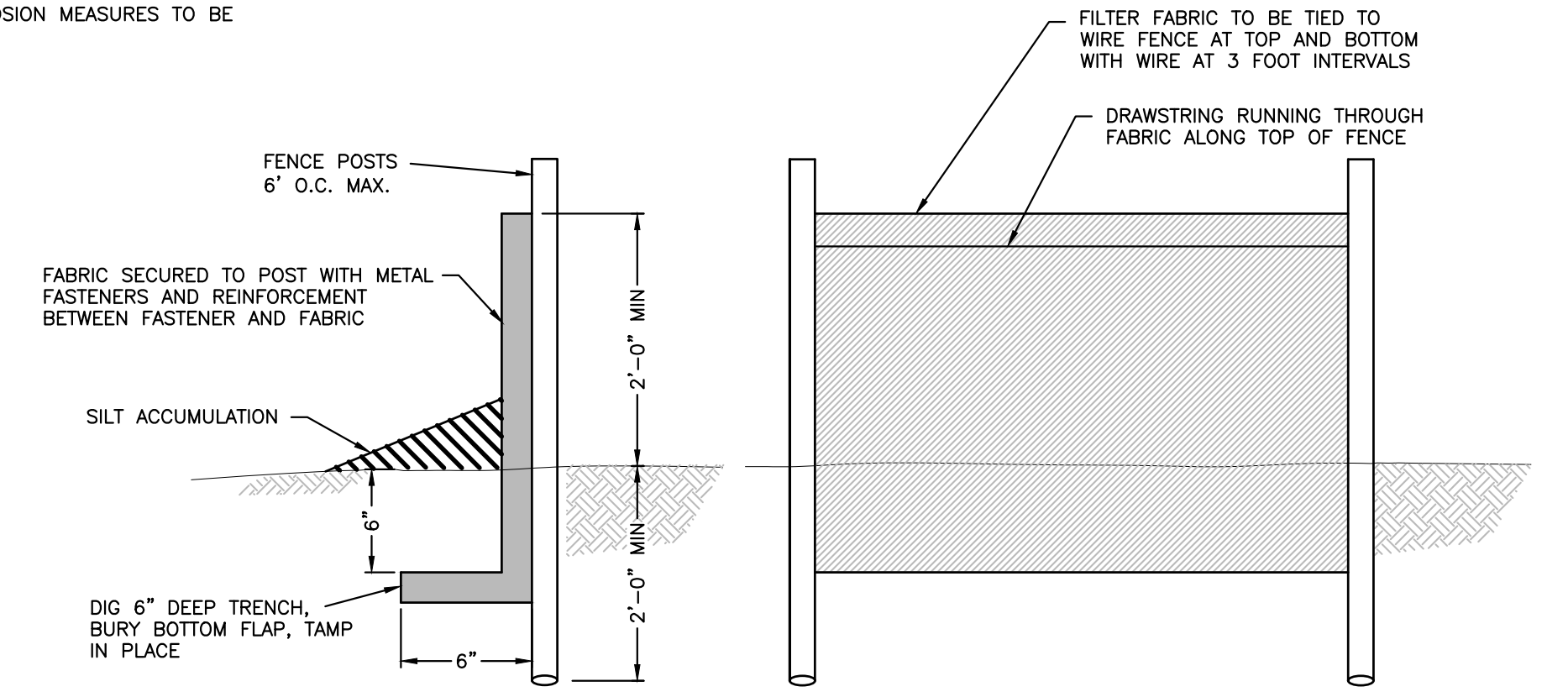
- FERTILIZER SHALL BE APPLIED AT A RATE OF 500 LBS/ACRE OR 11 LBS/1000 SF OF 10-20-10 OR EQUIVALENT IF SEED IS DRILLED OVER BANDED FERTILIZED, THE RATE OF FERTILIZER MAY BE REDUCED BY 50%.
- LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.
- MULCHING SHALL BE APPLIED AFTER SEEDING. MULCH MATERIALS SHALL BE UNROTTED, SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SF) EXCEPT THAT WHERE CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION SHALL BE DOUBLED. MULCH SHALL BE SPREAD UNIFORMLY SO THAT APPROXIMATELY 75% TO 95% OF THE SOIL SURFACE WILL BE COVERED.
- MULCH SHALL BE ANCHORED IMMEDIATELY AFTER PLACEMENT BY:
 - LIQUID MULCH BINDERS-MAY BE USED TO ANCHOR SALT HAY OR STRAW MULCHES.
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCES.
- USE ONE OF THE FOLLOWING:
 - ORGANIC AND VEGETABLE BASED BINDERS-NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GET AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS, THE VEGETABLE GET SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTIC EFFECT OR IMPEDING GROWTH OF TURF-GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - SYNTHETIC BINDERS-HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER, IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
 - WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.
- MULCH MAY BE USED IN PLACE OF TEMPORARY SEEDING IF SPREAD AT A RATE OF 2.0 TO 2.5 TONS PER ACRE AND ANCHORED AS DISCUSSED ABOVE, A MULCH ANCHORING TOOL MAY BE USED WHERE CONDITIONS PERMIT. TOOL PENETRATION SHALL BE DONE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHALL BE DONE ON THE CONTOUR.
- TEMPORARY SEED MIX SHALL BE PERENNIAL RYEGRASS WITH A RATE OF 40 LBS/ACRE OR 1 LBS SF SEED MIX SHALL BE APPLIED UNIFORMLY. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED, EXCEPT FOR DRILLED, HYDROSEEDED OR CUILT PACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH BY RAKING OR DRAGGING.
- SEEDING MIX SHALL BE APPLIED BETWEEN 3/1 - 5/15 OR 8/15 - 10/1 WHEN REQUIRED. IF STABILIZATION IS REQUIRED OUTSIDE THESE SEEDING DATES, MULCH SHALL BE USED AS DEFINED ITEM NO. 6.

PERMANENT SOIL STABILIZATION COVER

PERMANENT VEGETATIVE COVER: IMMEDIATELY FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL STABILIZE WITH PERMANENT VEGETATIVE COVER, ALL EXPOSED AND DISTURBED SOILS. PERMANENT VEGETATIVE COVER SHALL BE ACCOMPLISHED AS SPECIFIED BELOW:

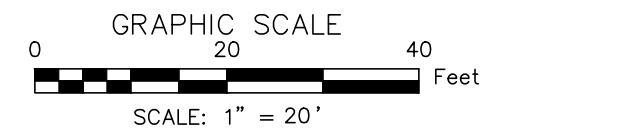
- TOPSOILING: THE CONTRACTOR SHALL PREPARE AREAS TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER BY APPLYING TOPSOIL TO A UNIFORM DEPTH OF 5 INCHES. TOPSOIL SHALL BE FRIABLE AND LOAMY AND OF GOOD QUALITY. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- FERTILIZER: SHALL BE APPLIED AT A RATE OF 500 LBS OR 11 LBS/1000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES.
- LIME AND FERTILIZER: SHALL BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES UNTIL A REASONABLE UNIFORM, FINE SEDDED PREPARED.
- MULCHING: SHALL BE APPLIED AFTER SEEDING. MULCH MATERIALS SHALL BE UNROTTED, SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1 1/2 TO 2 TONS PER ACRE (70 LBS TO 90 LBS/1000 SF) EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION SHALL BE 3 TONS/ACRE.
- MULCHING SHALL BE ANCHORED IMMEDIATELY AFTER PLACEMENT BY THE FOLLOWING METHOD: LIQUID MULCH BINDERS.
- PERMANENT SEED MIX SHALL BE:

PERMANENT SEED MIX	
SCS SEED MIX #14	RATE (LBS/ACRE)
TALL FESQUE	265
KENTUCKY BLUEGRASS (BLEND)	20
PERENNIAL RYEGRASS (BLEND)	20
- ALL SEEDING, STABILIZATION, ETC TO BE AS SPECIFIED IN "STANDARDS FOR SOIL EROSION/SEDIMENT CONTROL IN NEW JERSEY". PERMANENT SEEDING MIX SHALL BE APPLIED BETWEEN 2/1-4/30 and 8/15-10/30.



NOTES
1. FENCE POSTS SHALL BE HARDWOOD WITH A MINIMUM THICKNESS OF 1-1/2 INCHES.

SILT FENCE DETAIL



SOIL EROSION & SEDIMENT CONTROL PLAN

SHIV PRASAD, LLC
PLATE 3, BLOCK 40, LOTS 3 & 11.01
WOODBURY HEIGHTS BOROUGH, GLOUCESTER COUNTY, NEW JERSEY

PREPARED BY
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WWW.SPSLLC.COM
NJ CERTIFICATE OF AUTHORIZATION No. 2464278700, 21MR000134

DATE: _____
JAY F. SIMS
PROFESSIONAL ENGINEER, NEW JERSEY LIC. NO. 24GE04721900

FILE NO. 2846-01, S501
DATE: 01/17/23, SCALE: 1"=20'