

SITE REPAIRS FOR: BLOCK 35, LOT 3 207 WEST JERSEY AVENUE WOODBURY HEIGHTS, NJ 08097

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND BE SOLELY RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE STARTING WORK. THE CONTRACTOR WILL BE HELD TO HAVE EXAMINED THE ENTIRE JOB SITE TO BECOME FAMILIAR WITH AND BE SATISFIED AS TO THE CONDITIONS UNDER WHICH THEY WILL BE OBLIGED TO OPERATE IN PERFORMING THE WORK, BY ENTERING INTO AGREEMENT WITH OWNER, THE GENERAL CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE JOBSITE, FAMILIARIZED THEMSELVES WITH EXISTING CONDITIONS AND NOTED ANY DISCREPANCIES WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
2. EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE RELATING TO THE WORK OF EACH TRADE. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE OR EXTENSION OF TIME DUE TO CONTRACTOR'S FAILURE OR NEGLIGENCE IN COMPLETELY EXAMINING THE JOBSITE.
3. GENERAL CONTRACTOR SHALL CHECK PLANS AGAINST STATE & LOCAL CODES. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CONDITIONS, LAWS, RULES, REGULATIONS, AND ORDINANCES OF FEDERAL, STATE, COUNTY, OR AUTHORITIES RELATING THERETO. NO WORK SHALL BEGIN AT THE SITE UNTIL APPLICABLE APPROVALS AND REQUIRED PERMITS HAVE BEEN OBTAINED COVERING SUCH WORK.
4. THE GENERAL CONTRACTOR SHALL ENSURE INSTALLATION METHODS CONFORM TO APPLICABLE BUILDING CODES. CONTRACTOR TO VERIFY ALL MATERIALS w/ MANUFACTURER PRIOR TO PROCUREMENT OF MATERIALS FOR COMPLIANCE WITH ALL APPLICABLE CODE REQUIREMENTS. ANY FEES ASSOCIATED WITH VERIFICATIONS FAILURE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND CODE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
5. GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE OWNER FROM DAMAGE AND MAKE GOOD ANY INJURY OR LOSS ARISING IN CONNECTION WITH THEIR WORK. ANY DAMAGE TO NEW AND/OR EXISTING CONSTRUCTION, BUILDING STRUCTURE, OR EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR. DAMAGE TO WORK SHALL BE REPAIRED BY THE TRADE WHOSE WORK IS DAMAGED AND CHARGED TO THE PARTY RESPONSIBLE FOR SAID DAMAGE.
6. GENERAL CONTRACTOR SHALL PROTECT AND STORE ALL FIXTURES AND HARDWARE AS WELL AS OTHER EQUIPMENT SPECIFIED HEREIN FOR THE DURATION OF THE JOB. CONTRACTOR SHALL CARRY ALL INSURANCE REQUIRED BY ANY LOCAL CODES IN ADDITION TO ADEQUATE FIRE INSURANCE, GENERAL LIABILITY INSURANCE, EMPLOYER'S LIABILITY INSURANCE, AND WORKMEN'S COMPENSATION IN AN AMOUNT AND CARRIER SATISFACTORY TO THE OWNER AND ENGINEER.
7. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITIES FOR WATER, DRAINAGE, GAS, HEATING, ELECTRICAL SERVICE, ETC. AS MAY BE REQUIRED AND WHERE APPLICABLE.
8. THE CONTRACTOR IS WHOLLY RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF THE WORK OF ALL SUBCONTRACTORS, CRAFTSMEN, AND TRADESMEN REQUIRED TO COMPLETE THE JOB. ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, REINFORCING, BOLT SETTINGS, SLEEVES, ETC.
9. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH STANDARD PRACTICE AND THE 2018 UCC, NEW JERSEY EDITION.
10. WHERE THE CONTRACT, NOTES, OR DRAWINGS CALL FOR WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE OR OTHER DEPARTMENT(S) HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MOST STRINGENT NATURE CALLED FOR BY THE CONTRACT, CONSTRUCTION NOTES, OR DRAWINGS SHALL BE FURNISHED IN ALL CASES.
11. THESE DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DRAWINGS.
12. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THEY CANNOT COMPLY WITH ALL REQUIREMENTS CALLED FOR ON THE DRAWINGS.
13. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN THE DRAWINGS, NOTES, AND FIELD CONDITIONS, AND REQUEST CLARIFICATION BEFORE COMMENCING WORK.
14. THE GENERAL CONTRACTOR, SUBCONTRACTORS, AND ANY OTHER CONTRACTORS INVOLVED IN THE PROJECT SHALL TAKE NOTE THAT ANY COSTS DUE TO DEFECTIVE AND/OR ILL-TIMED WORK AS A RESULT OF, BUT NOT LIMITED TO, INFERIOR WORKMANSHIP OR MATERIALS AND/OR IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE CONTRACTOR.
15. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF THEIR OWN AND THEIR SUBCONTRACTORS WORK FROM THE JOBSITE DAILY.

16. THE CONTRACTOR SHALL EXERCISE STRICT DUST CONTAINMENT CONTROL TO PREVENT DIRT/DUST FROM LEAVING THE JOBSITE.
17. THE CONTRACTOR SHALL PAY ALL RELATED TRANSPORTATION CHARGES ON ALL MATERIAL AND EQUIPMENT TO THE POINT OF USE AND SHALL BE RESPONSIBLE FOR ALL UNLOADING, CHECKING, AND STORING OF SAME IN CONNECTION WITH THE CONTRACT.
18. ALL WORK LISTED, SHOWN OR IMPLIED ON CONSTRUCTION DOCUMENTS, OR REQUIRED TO COMPLETE THE INSTALLATION OF WORK, SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
19. ALL WORK AND MATERIALS SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM ACCEPTANCE OF PROJECT/COMPLETION OF PUNCH LIST ITEMS BY THE OWNER, UNLESS NOTED OTHERWISE.
20. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE ACCEPTANCE OF THE PROJECT BY THE OWNER, UNLESS NOTED OTHERWISE.
21. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DETAILS. NOTIFY ARCHITECT IN CASE OF ANY DISCREPANCIES OR CLARIFICATIONS BEFORE PROCEEDING WITH WORK.
22. REVISIONS TO WORK REQUIRED BY LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO ATTENTION OF OWNER AND ARCHITECT BEFORE PROCEEDING.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ON-SITE LIFE SAFETY EQUIPMENT AND SYSTEMS AS REQUIRED BY STATE, LOCAL BUILDING CODES/AUTHORITIES. CONTRACTORS MUST COMPLY WITH ALL STATE AND FEDERAL OSHA SAFETY REGULATIONS.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A COMPLETE AS-BUILT SET OF CONSTRUCTION DRAWINGS AT THE JOBSITE AND TURNING THE AS-BUILT DRAWINGS OVER TO THE OWNER UPON COMPLETION OF THE PROJECT.
25. THE SCOPE OF THE PROJECT INCLUDES ALL WORK SHOWN OR REASONABLY INFERRED ON THE DRAWINGS TO BE PERFORMED BY THE GENERAL CONTRACTOR AND QUALIFIED SUBCONTRACTORS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION CONSISTENT WITH THE INTENT OF DESIGN.
26. ARCHITECT/ENGINEER NOT RESPONSIBLE FOR CHANGES NOT SHOWN ON DRAWINGS.

NOTE:

ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS AND ADDITIONS THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS"(OSHA); "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING AND SAFETY; "CONSTRUCTION SAFETY CODE," AND "MAINTENANCE, CONSTRUCTION AND DEMOLITION," AND "BUILDING CODE."

PROPERTY DESCRIPTION

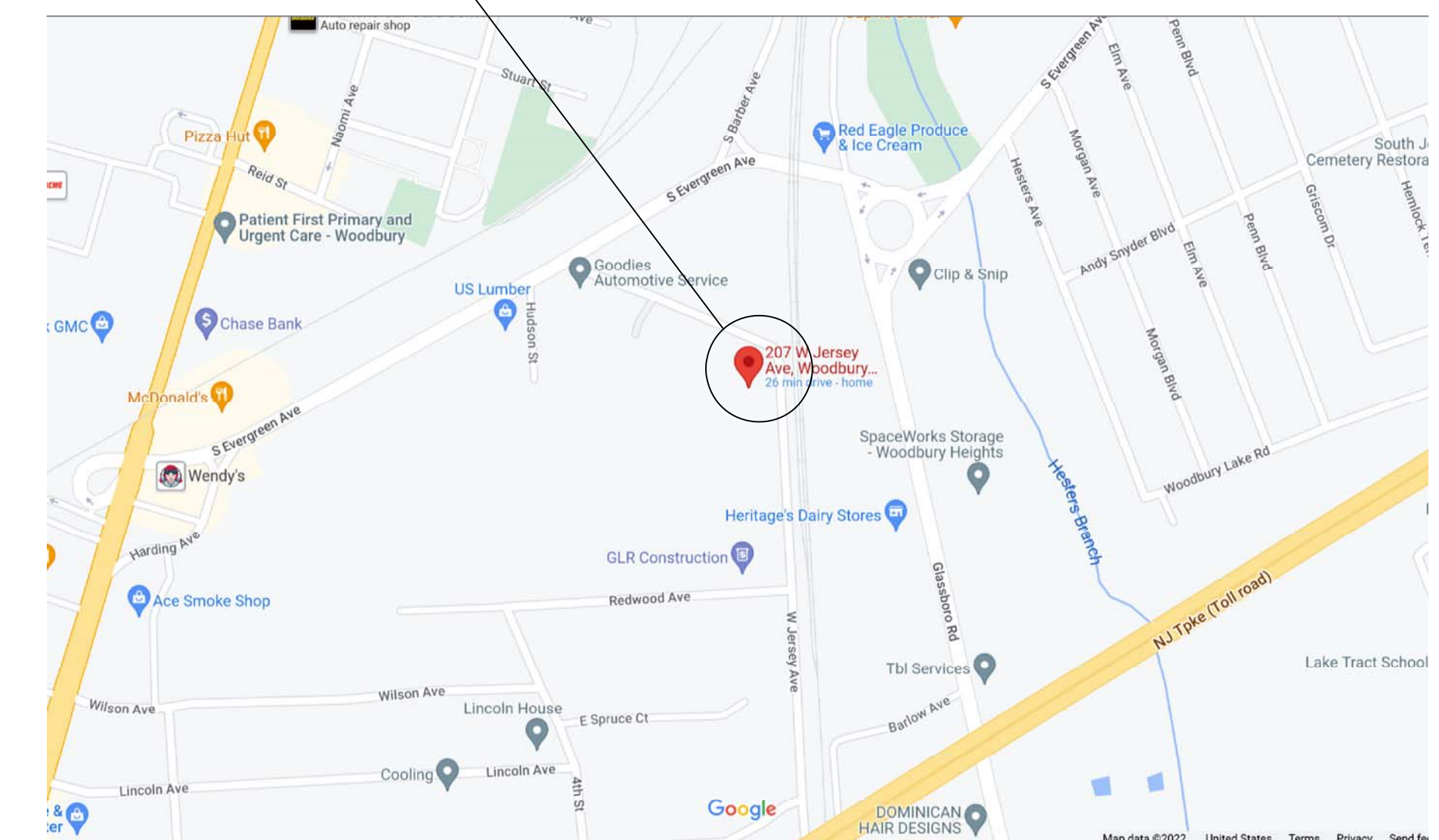
STATE	COUNTY	CITY / TOWN
NJ	GLOUCESTER	WOODBURY HTS.

CODE ANALYSIS <NJ U.C.C. 2018>

SCHEDULE OF DRAWINGS

SHEET NO.	DESCRIPTION
TS-1	TITLE SHEET, NOTES, AND CODE INFORMATION
SP	PLOT PLAN
A-1	SECOND FLR. PLAN
A-2	FIRST FLR. PLAN

LOCATION



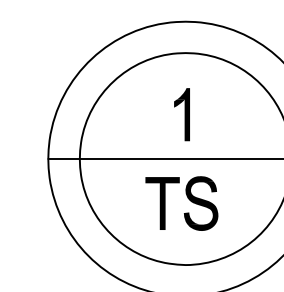
BUILDING AREA SUMMARY - BUILDING 19

TOTAL AREA: 5,483 GROSS S.F.

USE	AREA (S.F.)
MANUFACTURING 1ST FLR.	5,936 S.F. GROSS
MANUFACTURING SECOND FLR.	2,613 S.F. GROSS
TOTAL	8,549 S.F. GROSS

PARKING & LOADING SPACES REQUIRED PER 70-14(G) WOODBURY HEIGHTS ZONING ORDINANCE

USE	DESCRIPTION	SPACES REQUIRED
MANUFACTURING PARKING	1 PER 800 S.F. -- 8,549 = 8,800 / 800 X11	11
MANUFACTURING LOADING	5,000 - 40,000 1 SPACE	1
TOTAL		12



SITE LOCATION MAP

SCALE: N.T.S.

SYMBOLS

- DETAIL NUMBER
- DRAWING NUMBER

Robbie Conley Architect, LLC

596 Glassboro Road
Woodbury Heights, New Jersey, 08097
(856) - 845 - 7500 FAX: (856) - 853 - 0528

N.J. LIC. NO. 21AC00069700 NCARB CERT. NO. 52314 P.A. LIC. NO. AX004265L

PROJECT TITLE
LOUD LABS
207 W Jersey Ave,
Woodbury Heights,
NJ 08097

OWNER
JAKE BERRY
207 W Jersey Ave,
Woodbury Heights,
NJ 08097

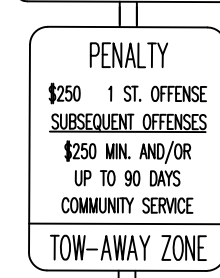
CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH WORK.

ISSUE DATE:
AUGUST 19, 2022
DRAWN: RUC
CHKD: RUC

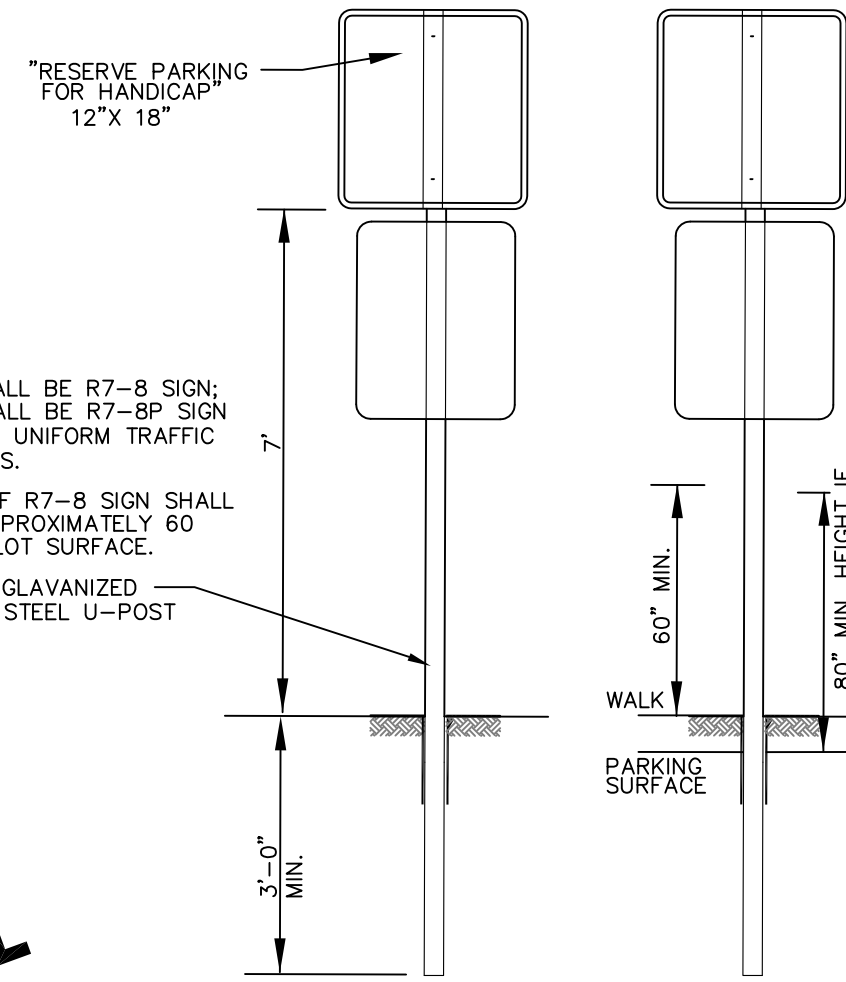
DWG. NO.
TS

PROJECT NO.
22009

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NOTES:
1. UPPER SIGN SHALL BE R7-8 SIGN; LOWER SIGN SHALL BE R7-BP SIGN PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
2. BOTTOM EDGE OF R7-8 SIGN SHALL BE MOUNTED APPROXIMATELY 60 INCHES ABOVE LOT SURFACE.
CLAVANIZED STEEL U-POST



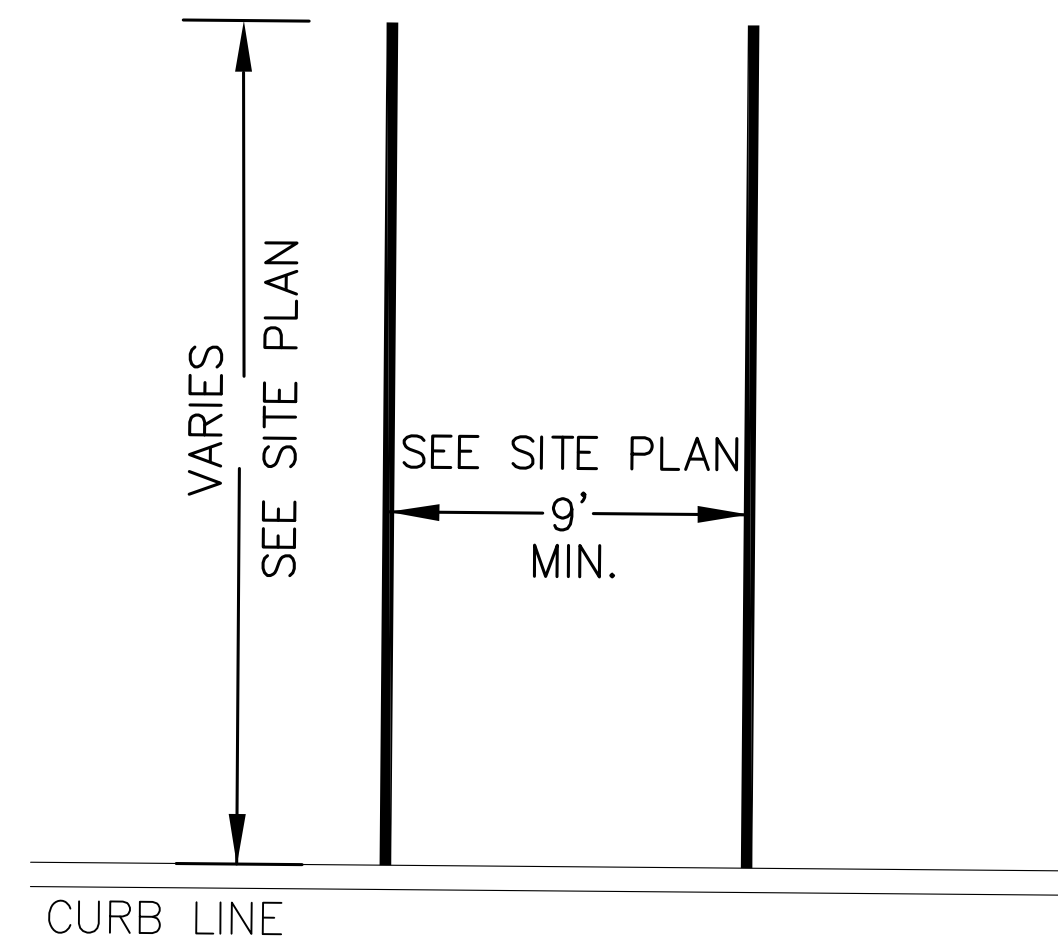
HANDICAP PARKING SIGN DETAIL

NOTES:
1. ALL STRIPES TO BE 4" WIDE BLUE PAVEMENT PAINT.
2. DISABLED PARKING SYMBOL TO BE BLUE PAVEMENT PAINT.
3. PARKING AREA TO BE PAINTED SPECIAL BLUE.



DISABLED PARKING SYMBOL

PARKING SIGN

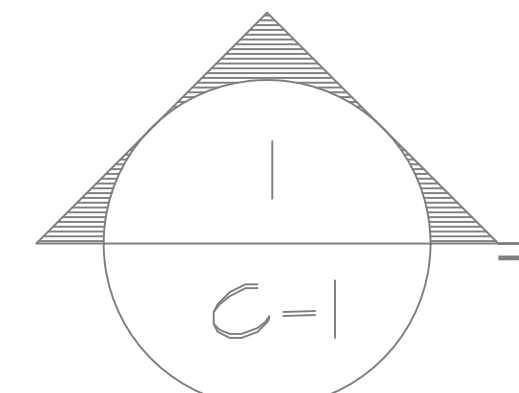
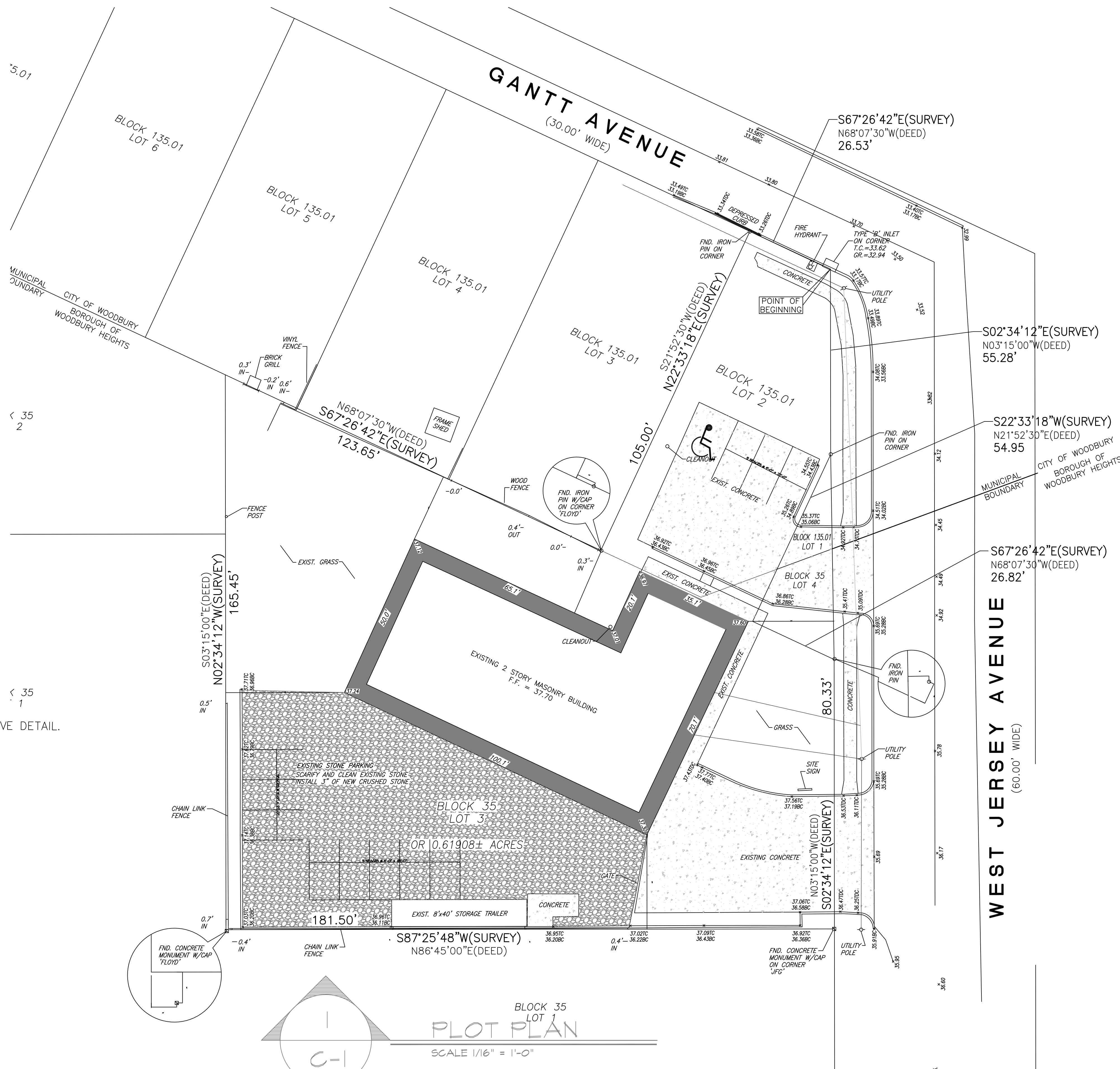
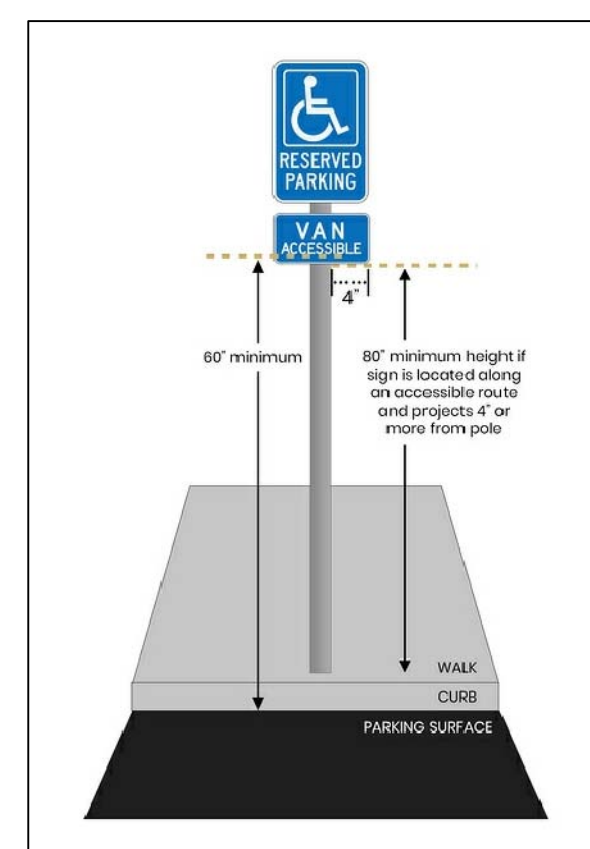
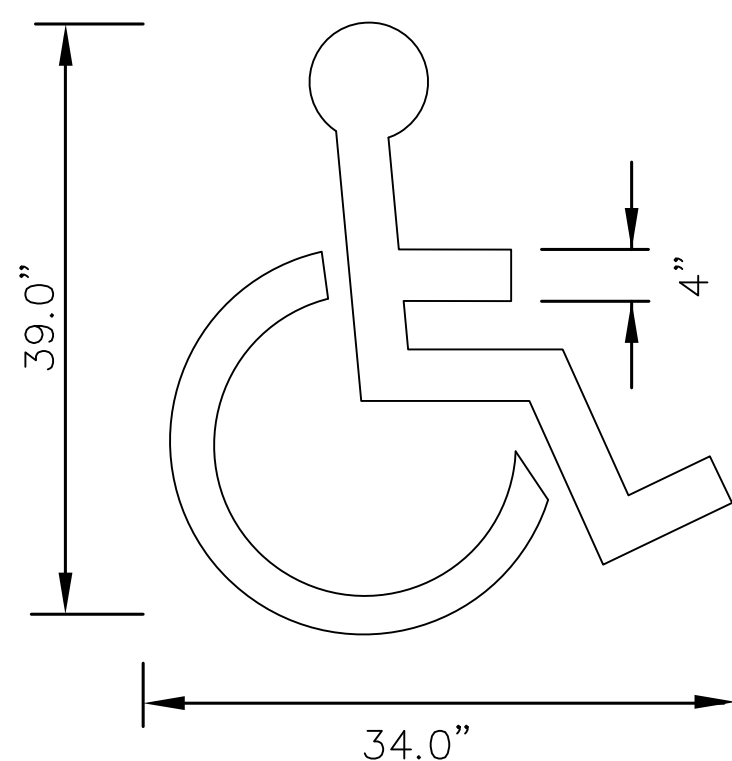


STANDARD PARKING SPACE MARKINGS

N.T.S.

NOTE:

- 1. PARKING SPACE MARKINGS SHALL COMPLY WITH LATEST MUTCD AND ABOVE DETAIL.
- 2. ALL PARKING SPACE STRIPING SHALL BE 4" WIDE WHITE EPOXY-RESIN WITH THE EXCEPTION OF HANDICAP SPACE MARKINGS WHICH SHALL BE 4" WIDE BLUE EPOXY-RESIN.



SCALE 1/16" = 1'-0"

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N.J. LIC. NO. 21AC00069700 NCARB CERT. NO. 52314 P.A. LIC. NO. AX004265L

SHEET TITLE
PLOT PLAN

PROJECT
LOUD LABS
207 W Jersey Ave, Woodbury Heights, NJ 08097

OWNER
JAKE BERRY
207 W Jersey Ave, Woodbury Heights, NJ 08097

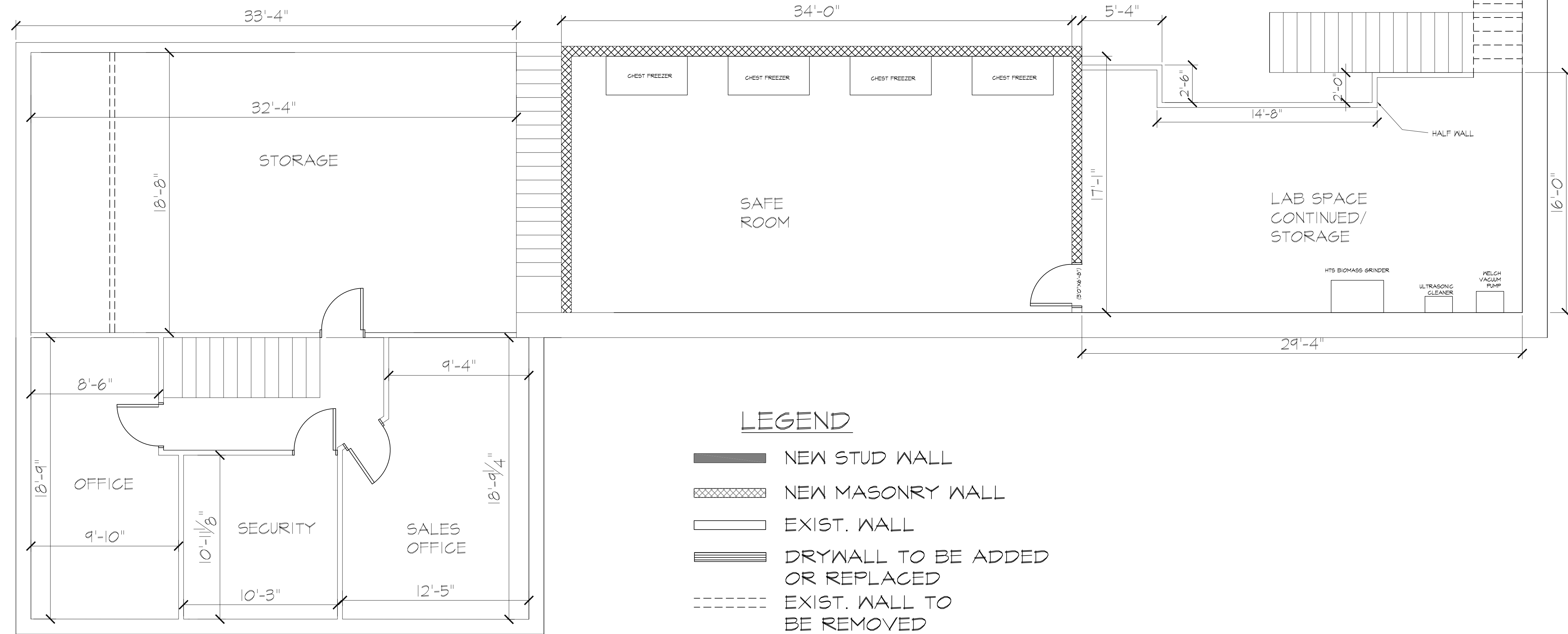
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DWG. NO.
C-1
2 of 4

PROJECT NO.
22029

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LEGEND

- NEW STUD WALL
- NEW MASONRY WALL
- EXIST. WALL
- DRYWALL TO BE ADDED OR REPLACED
- EXIST. WALL TO BE REMOVED

2nd floor

DEMOLITION NOTES

CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES TO BE ALL INCLUSIVE. THE WORK SHOWN ON THIS SHEET REFLECTS A LIMITED SCOPE OF WORK ASSOCIATED W/ DEMOLITION OF EXISTING CONSTRUCTION, AND INCLUDES ALL WORK SHOWN OR REASONABLE INFERRED. THE CONTRACTOR SHALL INSPECT AND ASSESS EACH SPACE, TO FULFILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS WITHIN THE CONTRACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE EXTENT OF DEMOLITION AND REMOVAL WORK IS SHOWN ON THE DRAWINGS AND INCLUDES, BUT IS NOT NECESSARILY LIMITED TO, THE FOLLOWINGS:

- 1 NO DEMOLITION IN AREAS CONTAINING WIRING, SECURITY OR COMMUNICATIONS SYSTEMS OR EQUIPMENT SHALL COMMENCE WITHOUT THE PRESENCE OF THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL COORDINATE ALL ON SITE OVERSIGHT BY OWNER'S REPRESENTATIVE.
- 2 AREAS DESIGNATED BY DASHED LINES SHALL BE OR HAVE BEEN REMOVED. CONTRACTOR SHALL VERIFY THESE CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- 3 AREAS AND PARTITIONS NOT DASHED OR NOTED TO BE REMOVED SHALL STAY INTACT. PATCH AND REPAIR FINISHES AS REQUIRED AFTER DEMOLITION IN ACCORDANCE WITH RENOVATIONS.
- 4 LOCATE AND IDENTIFY EXISTING UTILITIES AND ASCERTAIN THEIR CONDITION TO ENSURE ADEQUATE PERFORMANCE OF ALL UTILITIES IN NEW CONSTRUCTION. PROTECT UTILITY LINES AND DEVICES DURING CONSTRUCTION AND DEMOLITION PHASES.
- 5 REMOVE FROM BUILDING SITE DEBRIS, TRASH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OF OFF SITE.
- 6 IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF BEING HAZARDOUS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER SEPARATE CONTRACT.
- 7 BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON PROJECT SITE.
- 8 COORDINATE DEMOLITION WITH OWNER, TENANT AND OTHER TRADES. CONFIRM EXTENT, TIMING, AND ITEMS TO BE SALVAGED BY OWNER. SCHEDULE WORK SO AS NOT TO UNDULY INTERFERE WITH OWNER'S ONGOING OPERATIONS.
- 9 PROVIDE ALL NECESSARY TEMPORARY LIGHT AND POWER THROUGH TO COMPLETION OF THE PROJECT AND COORDINATE ITS USE WITH BUILDING MANAGEMENT.
- 10 PROTECT ALL EXISTING ITEMS TO REMAIN THROUGHOUT THE COURSE OF THE PROJECT.

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SHEET TITLE
**SECOND FLR. PLAN
 STAIR DETAIL**

PROJECT
**LOUD LABS
 207 W Jersey Ave,
 NJ 08097**

OWNER
**JAKE BERRY
 207 W Jersey Ave,
 NJ 08097**

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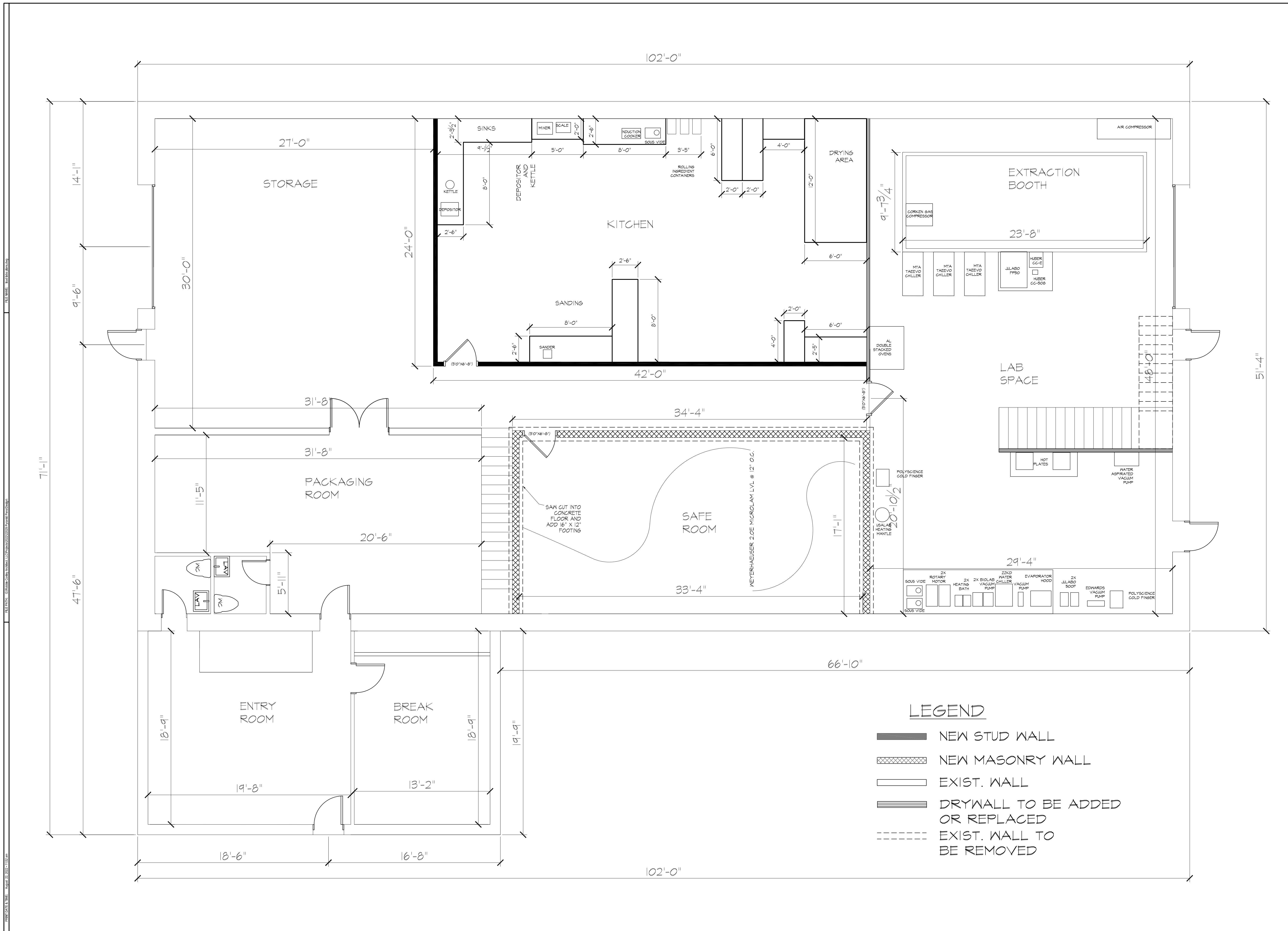
REVISION	DATE

ISSUE DATE:
JULY 29, 2022

DWG. NO.
A-1

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LEGEND

- NEW STUD WALL
- NEW MASONRY WALL
- EXIST. WALL
- DRYWALL TO BE ADDED OR REPLACED
- EXIST. WALL TO BE REMOVED

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SHEET TITLE:
FIRST FLR. PLAN

PROJECT:
LOUD LABS
 207 W. Jersey Ave., Woodbury Heights,
 NJ 08097

OWNER:
JAKE BERRY
 207 W. Jersey Ave., Woodbury Heights,
 NJ 08097

CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH WORK.

ISSUE DATE:
JULY 29, 2022

DWG. NO. **A-2**
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